

APPLICATION NO	PA/2009/0384
APPLICANT	Mr D Snowden
DEVELOPMENT	Planning permission to erect a block of 3 apartments
LOCATION	70 Doncaster Road, Westwoodside, Haxey
PARISH	HAXEY
WARD	Axholme South
SUMMARY RECOMMENDATION	Grant permission subject to conditions
REASONS FOR REFERENCE TO COMMITTEE	Objection by Haxey Parish Council
POLICIES	<p>Regional Spatial Strategy for Yorkshire and the Humber: Policy H1 (Provision and Distribution of Housing) states that the region's housing stock should be improved and increased to provide appropriate accommodation for all households wanting homes, and the need to place a greater emphasis on meeting local needs in rural areas.</p> <p>North Lincolnshire Local Plan: Policy H5 (New Housing Development) states that proposals for new housing will be permitted provided that the development doesn't result in loss of important open space and the scale, layout, height and materials of the development are in keeping with the character and amenity of the settlement as a whole.</p> <p>Policy H8 (Housing Design and Housing Mix) states that new residential development should respect and reflect the form, scale, massing, design, detailing and materials of the local environment.</p> <p>Policy DS1 (General Requirements) states that a high standard of design is expected in all developments in both built-up areas and the countryside and development should not result in unacceptable loss of amenity to neighbouring land uses through the effects of overlooking and overshadowing.</p> <p>Policies H1 (Housing Development Hierarchy), T1 (Location of Development), T2 (Access to Development),</p>

ST3 (Development Limits) and DS16 (Flood Risk) also apply.

CONSULTATIONS

Highways: Recommend conditions.

Severn Trent Water Ltd: No objections or comments.

Yorkshire Water: No objections.

Environment Agency: Advises that the site lies within Flood Zone 2 defined as having a medium probability of flooding. Additionally the Environment Agency recommends that the planning application be determined in line with their online flood risk standing advice.

PARISH COUNCIL

Object on the following grounds:

- the proposed apartments constitute over-development of the site;
- the proposed apartments represent an over-intensive form of development which is out of keeping with the street scene due to its scale and massing;
- the proposed development will result in loss of light and privacy to adjacent properties;
- the proposed development will exacerbate known surface water flooding issues and sewerage problems in this area of Westwoodside;
- there is insufficient parking space proposed;
- there is a horse chestnut tree located on the site which is considered worthy of retention – no details have been provided about the retention or protection of this tree in the development proposals;
- the plans and elevational drawings are ambiguous and do not reflect how the development will appear within the street scene.

PUBLICITY

Neighbouring properties have been notified and a site notice posted. Twelve letters of objection have been received raising similar issues to those raised by Haxey Parish Council, together with the following material issues:

- the lack of parking provision will result in vehicles being parked along Doncaster Road, thereby resulting in congestion;

- loss of amenity through noise disturbance resulting from cars being parked to the rear of the proposed apartments;
- loss of amenity through overshadowing of the kitchen window of 72 Doncaster Road, Westwoodside;
- there is insufficient garden area within the site to soak up rainwater and surface water.

ASSESSMENT

A previous planning application for three apartments (PA/2008/1197) was refused on the grounds that the flood risk assessment submitted was inadequate for a suitable assessment of flood risk to be made. Additionally the proposed apartments were refused on the grounds that they constituted over-development of the site and were out of keeping with the street scene.

The application site is a vacant piece of land that housed a bungalow which was demolished in 2004. Neighbouring properties are a pair of semi-detached houses and a bungalow which serves as a veterinary surgery. The site dimensions are approximately 13.5 metres wide by 55 metres deep. There is an existing mature horse chestnut tree along the eastern boundary located half-way into the plot.

The main issues in determining this planning application are whether:

- **the proposed apartments represent an over-intensive form of development which is out of keeping with the street scene due to its scale and massing;**
- **the proposed development would result in loss of light and privacy to adjacent properties;**
- **the proposed development would exacerbate known surface water flooding issues and sewerage problems in this area of Westwoodside;**
- **adequate on-site parking is provided; and**
- **the mature horse chestnut tree on the site is worthy of retention.**

The proposed apartments would be sited centrally within the plot and there would be an acceptable separation distance between the proposed and existing houses within the street scene. There would be also be provision

for a 3 metre wide vehicular access and drive along the western boundary and a shared rear garden area of 130 square metres. Therefore the proposed apartment block is not considered to constitute over-development of the site.

The new building would be two-storey with overall floor dimensions of 9.5 metres width and a depth of 12.5 metres. Two (two-bedroom) flats will be provided at ground floor with a single entrance door at each side. Access to the single first floor flat (three bedrooms) will be gained from the front of the new building.

The plans and drawings submitted with the planning application show that the proposed apartment block will have a ridge line some 1 metre approximately higher than the adjacent houses to the west. The local planning authority is satisfied that the plans submitted accurately reflect how the development would appear within the Doncaster Road street scene. When the street scene along Doncaster Road is taken into account it is evident that there is a wide mix of house types, scales and heights. Additionally there are a number of houses constructed in recent years which are of similar height and scale to the proposed development. Therefore the height of the proposed apartment block is not considered to be out of keeping with the street scene.

Under the guidance of policy H1 (Housing Development Hierarchy) a maximum of three dwellings can be built on an infill plot in a minimum growth settlement such as Westwoodside. The proposed apartments will be contained within one building which gives the impression of being a large detached house and which would be of similar scale and height to some of the houses along Doncaster Road. The proposed apartment block is not considered to be an over-intensive form of development.

68 Doncaster Road serves as a veterinary surgery so the impact upon this building from the proposed apartments is considered minimal. With regard to the potential for overlooking to properties at the rear of the site on The Meadows (numbers 12 and 14), it should be noted that there is a separation distance of 55 metres from the rear of the apartment block to the rear of the existing houses. This separation distance will prevent any overlooking from the rear of the apartment block taking place. The tests applied for overshadowing and loss of light under the council's supplementary guidance show that the proposed apartment block will not result in any loss of amenity to the kitchen window of 72 Doncaster Road.

The highway authority has confirmed that the three parking spaces, together with the visitor parking space, meets current car parking standards. Therefore it is considered that there is sufficient parking to serve the apartments, thereby meaning that no parking on Doncaster Road should take place and no traffic congestion would occur as a result. The number of vehicles being parked at the site (a maximum of four) at any time is not considered excessive for a residential area. Furthermore the level of noise generated from vehicle movements to and from the site would not be over and above the current situation experienced along Doncaster Road.

There is a mature horse chestnut tree located along the eastern boundary which is considered worthy of retention by the council's tree officer. It should be noted that this tree is shown to be retained on the site plan and a root protection zone of 6 metres has been applied to protect the tree during construction. The council's tree officer has recommended that a wider root protection zone of 7.2 metres be applied. A condition will be imposed that ensure the 7.2 metres root protection zone is applied together with details of the method of protecting the tree during construction.

With regard to known localised flooding issues in this part of Westwoodside, it should be noted that the applicant's agent has provided soakaway percolation tests which have been checked by building control officers and found to be acceptable. Therefore the disposal of surface water via soakaways is considered acceptable. Furthermore there would be a grassed communal garden to the rear of the apartments, together with some landscaping to the front of the site which would help to retain surface-water run-off. With reference to the impact upon sewerage, a condition can be imposed requesting details of drainage disposal before any development takes place on site. This would allow the local planning authority to carefully assess the impact of the proposed development upon the existing drainage system.

RECOMMENDATION

Grant permission subject to the following conditions:

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

Within 3 months of the completion of the new access, any redundant access to the site shall be removed and the area reinstated to footway/verge (including the provision of full height kerbs) in accordance with details to be submitted to and approved in writing by the local planning authority.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

3.

No development shall take place until details showing an effective method of preventing surface water run-off from hard paved areas within the site onto the highway have been submitted to and approved in writing by the local planning authority. These facilities shall be implemented prior to the access and parking facilities being brought into use.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

4.

No loose material shall be placed on any driveway or parking area within 10 metres of the adopted highway unless measures are taken in accordance with details to be submitted to and approved in writing by the local planning authority to prevent the material from spilling onto the highway. Once agreed and implemented these measures shall be retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

5.

Nothing shall at any time, whether permitted by the Town and Country Planning (General Permitted Development) Order or not, be erected, retained, planted or allowed to grow over 1.05 metres in height above the level of the adjoining carriageway for a distance of 2 metres from the highway boundary across the site frontage.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

6.

No dwelling on the site shall be occupied until the vehicular access to it and the vehicle parking and turning space serving it have been completed and, once provided, the vehicle parking and manoeuvring space shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

7.

Development shall proceed fully in accordance with the mitigation measures (for example, finished floor levels) set out in the approved flood risk assessment, and the applicant shall confirm completion of the approved scheme in writing within one month thereafter.

Reason

To reduce the potential impact of flooding in accordance with policy DS16 of the North Lincolnshire Local Plan.

8.

No development shall take place until a scheme for the disposal of foul and surface water has been agreed in writing by the local planning authority and none of the dwellings shall be occupied until it is connected to the approved drainage system.

Reason

To ensure satisfactory drainage is provided in accordance with policy DS14 of the North Lincolnshire Local Plan.

9.

No development shall take place until proposals for landscaping have been submitted to and approved by the local planning authority. The proposals shall include indications of all existing trees and hedgerows on the site, and details of any to be retained, together with measures for their protection during the course of development.

Reason

To enhance the appearance of the development in the interests of amenity.

10.

All the approved landscaping shall be carried out within twelve months of development being commenced (unless a longer period is agreed in writing by the local planning authority). Any trees or plants which die, are removed or become seriously damaged or diseased within five years from the date of planting shall be replaced in the next planting season with others of similar size and species to those originally required to be planted, unless the local planning authority agrees in writing to any variation.

Reason

To ensure the implementation and maintenance of the submitted scheme of landscaping for the proposed development.

11.

Before development is commenced, details of the method of protecting the existing mature horse chestnut tree on the site throughout the construction period and the application of a 7.2 metre root protection zone around it shall be submitted to and approved in writing by the local planning authority, and such works as may be so approved shall be carried out before development is commenced, and maintained until completion of the development. The tree so protected shall not be wilfully damaged or destroyed, uprooted, felled, lopped or topped, nor any other works carried out which would cause damage to its root system or otherwise threaten the life of the tree during the period of construction without the previous written consent of the local planning authority.

Reason

In order to protect the existing tree on the site.



Drawing Title: 2009/0384

OS Grid Ref: SK74619961

Drawn by: KC

Scale: 1:1250

Date: 12/05/2009



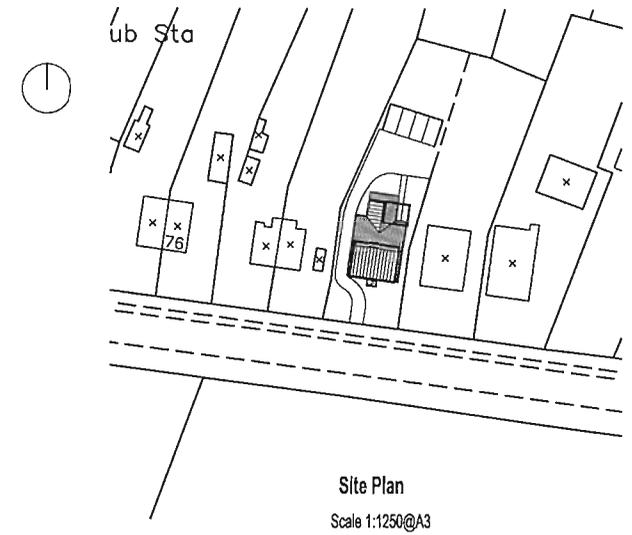
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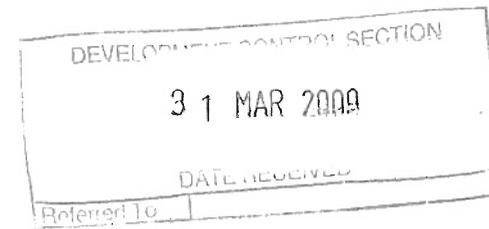
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INFORMATION ONLY



Street Scene Elevation
Scale 1:150@A3



client
Mr D. Snowden

project
**3 New Apartments
70 Doncaster Road
Westwoodside**

drawing

date drawn checked

scale drawer no dwg no

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