

APPLICATION NO	PA/2009/0743
APPLICANT	Keigar Homes Ltd
DEVELOPMENT	Planning permission to erect five detached houses and two pairs of semi-detached houses (resubmission of planning permission PA/2007/2011)
LOCATION	Land off Mill View, Barton-upon-Humber
PARISH	BARTON-UPON-HUMBER
WARD	Barton-upon-Humber
SUMMARY RECOMMENDATION	Refuse permission
REASONS FOR REFERENCE TO COMMITTEE	Officer discretion
POLICIES	<p>Regional Spatial Strategy for Yorkshire and the Humber: Policy H1 (Provision and Distribution of Housing) states that the region's housing stock should be improved and increased to provide appropriate accommodation for all households wanting homes, and the need to place a greater emphasis on meeting local needs in rural areas.</p> <p>North Lincolnshire Local Plan: Policy ST2 (Settlement Hierarchy) identifies Barton-upon-Humber as a principal growth settlement.</p> <p>Policy H1 (Housing Development Hierarchy) states that the primary focus for housing development will be the Scunthorpe and Bottesford urban area and to a lesser extent the principal settlements of Barton-upon-Humber and Brigg.</p> <p>Policy H3 (Previously Used Land) states that the use of previously used land and buildings will be preferred in sequence to the take-up of greenfield sites in a locality.</p> <p>Policy H5 (New Housing Development) sets out the general criteria in relation to layout, design, access and highway issues for new residential development.</p> <p>Policy H8 (Housing Design and Mix) states that new residential development should respect and reflect the form, scale, massing, design, detailing, materials and</p>

nature of the local environment and create an appropriate mix of dwelling sizes and type.

Policy DS16 (Flood Risk) states that development will not be permitted within floodplains where it would, amongst other things, increase the number of people or buildings at risk.

CONSULTATIONS

Highways: No objections.

Environment Agency: Object on the grounds that the site is within a high risk flood zone (3ii), and also a deep flooding sub-zone, wherein, together with climate change information, the Agency considers that the consequences of flooding would cause an unacceptable risk to life and property.

Anglian Water Developer Services: No objections.

TOWN COUNCIL

No objections.

PUBLICITY

Neighbouring properties have been notified. No objections have been received.

ASSESSMENT

Planning permission is sought to erect five detached houses and two pairs of semi-detached dwellings on a parcel of land within the settlement boundary. The site is located behind land that is currently being developed by the applicant for residential purposes and is to be served by the same estate road. The existing site also lies in an area that has been identified as high flood risk zone 3ii.

The main issue in determining this application is whether the benefits of developing the site outweigh the risk of flooding.

The proposal involves the erection of 9 further dwellings in addition to the 13 original properties approved and currently under construction on the frontage with Dam Road. The original planning permission for the existing 13 units was approved under PA/2006/0777 in August 2006. A previous application on the current site for 14 units was refused in June 2008 under reference PA/2007/2011 on the grounds of flood risk and policy DS16. The scheme has now been amended and reduced to 9 units. In terms of the layout of the development, design of dwellings, impact on the character of the area and impact on residential amenities, it is considered that the development is acceptable. As part of the consultation process, it has been established that contributions are required for affordable housing, education and public

open space. The applicants are aware of these requirements and are happy to enter into a section 106 agreement to secure these contributions, which will provide a positive benefit to the local community. The application is, therefore, acceptable in nearly all these respects. However, the Environment Agency has objected to the proposal on the grounds that the site is in a high risk flood zone, and the mitigation measures put forward in the flood risk assessment are inadequate. In addition, the latest climate change information suggests that the risk of flooding is now even higher than originally anticipated, therefore the consequences of flooding would cause an unacceptable risk to life and property.

Under these circumstances, whilst generally the proposal is acceptable and could provide additional positive benefits of contributions towards education, affordable housing and the provision of public open space, given the comments of the Environment Agency, it is not considered at this stage that such benefits outweigh the risks posed by flooding to life and property.

RECOMMENDATION

Refuse permission for the following reasons:

1.

The site lies within Flood Zone 3a defined in PPS25 as having a high probability of flooding and within Zone 3(ii) (high risk/high vulnerability) in the North/North East Lincolnshire Strategic Flood Risk Assessment. Notwithstanding the mitigation measures proposed in the submitted flood risk assessment, following advice from the Environment Agency, the local planning authority considers that the development as proposed is contrary to policy DS16 (Flood Risk) of the North Lincolnshire Local Plan because the local flood defences do not provide an acceptable standard of safety taking into account climate change as required by paragraph G2 of PPS 25.



Drawing Title: 2009/0743

OS Grid Ref: TA02782260

Drawn by: KC

Scale: 1:1250

Date: 23/11/2009



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NORTH LINCOLNSHIRE COUNCIL 0100023560 2009



Highways and Planning Service

Service Director,
G Pople

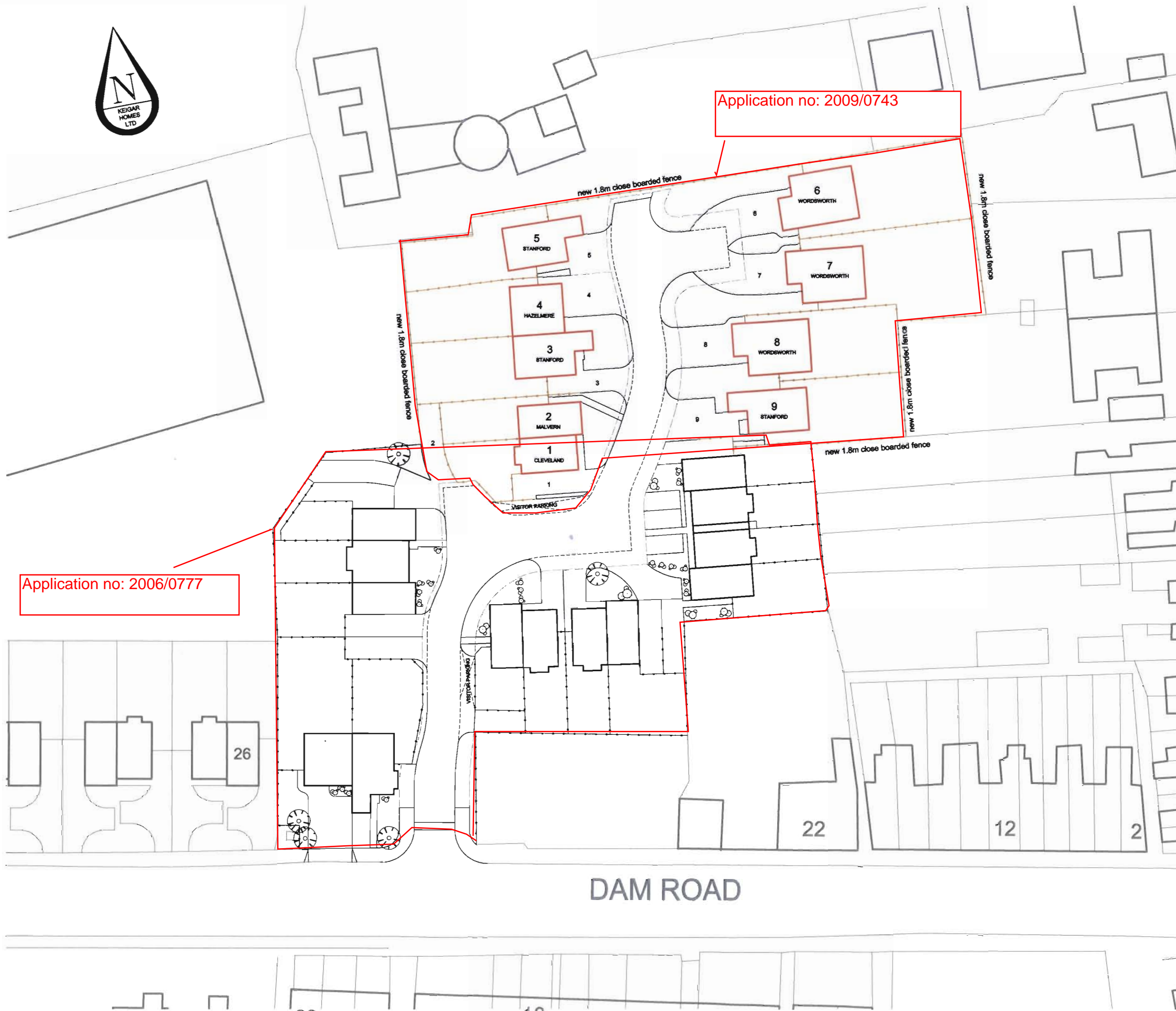


ALL GF ffl
TO BE SET
AT 4.65 aod

AMENDED

Application no: 2009/0743

Application no: 2006/0777



DEVELOPMENT CONTROL SECTION
- 3 JUL 2009
DATE RECEIVED
Referred to:

B	plot 5 re-sited.	MdS 31.07.09
A	revised with turning head in front of plots 7&8 as per comments from highways.	NwP 10.07.09

Rev: Details: Drawn by: Date Approved:

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Project Title:
Residential Development at
Land off Dam Road
Barton upon Humber

Drawing Title:
SITE PLAN

Drawn by: MdS Date: 16.06.09 Scale: 1/500

Drawing No: MY/124/3/202 Revision: B