

APPLICATION NO **WD/2015/1184**

APPLICANT Geo Houlton & Sons Limited

DEVELOPMENT Planning permission to erect a waste transfer station building with ancillary office, weighbridge, sprinkler tank, pump house and diesel tank, and relocate North Lincolnshire Council's transport services with ancillary mess facilities building, office building and covered parking bays, together with re-surfacing of hard-standing and re-configuration of the main vehicular entrance

LOCATION Plot 21, Midland Road, Scunthorpe

PARISH **SCUNTHORPE**

WARD Frodingham

CASE OFFICER David Wordsworth

SUMMARY **Grant permission subject to conditions**
RECOMMENDATION

REASONS FOR Significant public interest
REFERENCE TO
COMMITTEE

POLICIES

National Planning Policy for Waste (October 2014): Links to the Waste Management Plan for England, the National Planning Policy Framework, National Planning Policy Statements for Waste Water & Hazardous Waste and the Planning Practice Guidance. It sets out those matters that councils should take into account in preparing their local plans and making decisions on planning applications for waste facilities.

National Planning Policy Framework: Paragraphs 7, 8, 11, 32, 34, 56, 61, 100, 111, 124 and 186

National Planning Practice Guidance: Paragraphs 001, 002, 003, 049, 050, 051 and 052

North Lincolnshire Local Plan:

IN2 Alternative Uses of Industrial and Commercial Sites in the Urban Area and Principle Growth Settlements

T1 Location of Development

T2 Access to Development

LC12 Protection of Trees Woodland and Hedgerows

W1 Applications for Waste Management Facilities

W2 Groundwater Protection

W8 Protection Zones & Waste Management Facilities

W9 Handling of Waste

W13 Waste Transfer Stations

DS1 General Requirements

DS3 Planning Out Crime

DS7 Contaminated Land

DS8 Methane Emissions

DS11 Polluting Activities

DS12 Light Pollution

DS13 Groundwater Protection and Land Drainage

DS14 Foul sewage and Surface Water Drainage

DS16 Flood Risk

North Lincolnshire Core Strategy:

CS2 Delivering More Sustainable Development

CS5 Delivering Quality Design in North Lincolnshire

CS18 Sustainable Resource Use and Climate Change

CS19 Flood Risk

CS20 Sustainable Resource Management

SPG 11 Trees and Development

CONSULTATIONS

Highways: Advise conditions.

Environment Agency: Details of odour, air quality and noise will be considered by the EA at the permitting stage. The development will require an environmental permit under the Environmental Permitting (England and Wales) Regulations 2010 from the Environment Agency.

Advise that the EA has no major permitting concerns.

A site investigation was submitted. It is noted that a new hard standing surface will reduce/prevent infiltration into the subsurface. The proposed remedial strategy is

acceptable and therefore requests two conditions requiring a verification report and also unexpected land contamination.

Public Health: No objections.

Environmental Health (Commercial): Initially required further information to fully assess the issues of contaminated land, noise, odour, dust, light and land contamination.

Given the site's commercial/industrial location and its proximity to sensitive receptors it is agreed that odour can be managed if appropriate odour abatement and day-to-day odour management techniques are in place.

The development will be regulated by the Environment Agency under an Environmental Standard Rules Permit 2015_No4 which limits the waste throughput to 75,000 tonnes per annum. This permit allows manual sorting and separation of the waste but will not allow any waste treatment activities such as screening or crushing. The activity must be carried out in a building and environmental emissions such as noise, odour, and dust are controlled via the Environmental Permit.

No objections subject to the imposition of conditions relating to the nature and volume of waste, contaminated land, noise, light and construction period.

Historic and Environment Record (HER): No objections.

Fire & Rescue Service: Advice given on access for fire-fighting and provision of water supplies for fire-fighting.

Waste Services: Unable to comment because the waste transfer station part of the proposal is on behalf of North Lincolnshire Council's Waste Services department.

LLFA (Drainage): No objections subject to a condition.

Trees: Advise conditions.

PUBLICITY

Advertised by site and press notice. Two letters of objection have been received from local businesses raising the following concerns:

- What impact will the development have upon drainage of the site onto a commercial premises in the vicinity on Brigg Road?
- Midland Road Industrial Estate employs hundreds of people, and a food factory and food processing unit backs onto the site. The proposal will attract vermin, flies and maggots, and create smells for the whole estate.
- Why not use a site such as the one at Flixborough Industrial Estate that was purpose-built with all the controls for residue?
- Why waste more money?

- During the community consultations prior to submitting the planning application, a hand-delivered invitation to attend the consultation event was delivered on 1 September 2015, however the event had already taken place on 27 August.

In addition a petition of 20 signatures from businesses on Midland Road has been received objecting to the proposal based on issues which are summarised below:

1. Odour and risk of bacterial contamination

- businesses are reliant on customers being attracted to visit business premises, however odour from the waste transfer station will not be controlled sufficiently resulting in loss of customers and forced redundancies
- significant health and safety risks
- is it intended for the waste transfer station to accept garden waste?

2. Landfill gas protection

- confirmation of the original tender incorporated the full installation of landfill gas protection measures?
- confirmation of the details of the original capping on the former landfill site
- if the gas protection system fails the site could be designated as contaminated land thereby devaluing assets/property resulting in job losses and businesses closing
- full details are requested of the proposed designs and confirmation from the council's environmental team that the remediation works meets their requirements.

ASSESSMENT

Full planning permission is sought for a proposed development that consists of two main parts. The first involves the construction of a waste transfer station (WTS) in the northern part of the site, together with a water tank, sprinkler tank pump house, diesel tank, waste transfer station office and a weighbridge facility with central island for incoming and outgoing vehicles. All these elements are included as part of the waste transfer facility on the western side of the L-shaped site. The second element of the proposal involves the relocation of North Lincolnshire Council's Transport Services department (TS) to the eastern part of the site and this will include a transport station mess facility (modular building), a covered parking facility and a gated access with security barriers at the front of the site.

The relocation of Transport Services will enable North Lincolnshire Council to bring together Highways and Neighbourhood Services onto one site which in turn will vacate the North Hampton Road depot. As a result the Highways and Neighbourhood teams will be able to share resources and reduce their operating costs. One of the aims of the reorganisation of services is that transport vehicles will be in a central location at the new site which will reduce journey times and enable some staff to walk, cycle or use public transport to travel to work.

The planning application was submitted with the following documents:

- Ground investigation and Remediation
- Air Quality Assessment
- Noise Impact Assessment
- External Lighting Assessment
- COSSH Risk Assessment
- Dust Management Plan
- Community Consultation Strategy
- Transport Assessment
- Odour Management Plan
- Design & Access Statement.

The description of the development and the Design and Access Statement were amended and re-consultations undertaken at the end of October 2015. The proposal was screened under the Town and Country Planning (Environmental Impact Assessment) Regulations (2011) and it was concluded that the proposal was not EIA development. Therefore an EIA was not required.

The key issues in the determination of this application are:

- **whether the proposal meets the requirements of national and local planning policies;**
- **whether the operation of a waste transfer station in this location would have any adverse environment impacts;**
- **whether the relocation of North Lincolnshire Council’s Transport Services’ operations to the site is acceptable in terms of compatibility with the WTS proposal, highway safety and traffic flows on the adjacent highway network; and**
- **whether or not the scheme to deal with surface water drainage on the site is acceptable.**

The site is owned by North Lincolnshire Council and is located on Midland Road Industrial Estate, which is approximately 1.5 miles south of Scunthorpe town centre. The site area is 2517 square metres which will be re-surfaced with heavy duty porous tarmac. Concrete surfacing will be installed to small designated areas such as the refuelling station. The WTS will have a maximum annual operational throughput of 74,576 tonnes of municipal waste which consists of the following:

Residual Waste	48,440 tonnes
Dry Recyclables	8,600 tonnes
Compostable Green Waste	17,536 tonnes.

The operating hours proposed for the WTS are 6.30am to 7pm seven days a week, including bank/public holidays with the exception of Christmas Day, Boxing Day and New Year's Day and at any time during 'out of hours' requirements. The TS facility is open 6am to 7pm and mainly operates in school term time. It should be noted that emergency access to the site is required to fulfil the council's obligations under the Civil Contingencies Act, and anything involving a provision of service for an emergency under the council's emergency management arrangements.

The development will create six new jobs at the waste transfer station. Additional economic benefits will accrue as a result of the diversion of its residual and municipal waste from landfill. Instead the waste will be collected at the WTS and transported by HGV to a primary treatment facility in Billingham, North Tees where it will be sorted, recyclables (tin, metal etc) extracted, and the remaining waste made into a Refuse-Derived Fuel (RDF). The RDF is then fed into the adjacent Air Products Plant at quantities sufficient to power approximately 5,000 homes. Residual waste refers to the material that remains after the process of waste treatment has taken place. The scheme forms part of a wider £65 million investment the council is making over the next 10 years to ensure the council diverts as much as 90% of its residual waste from landfill. Additionally, the WTS has been designed so that in future a materials recycling facility could be added to the site.

Prior to the submission of the planning application an application for determination of the requirement for prior approval for the demolition of the buildings on the site (under planning reference PA/2015/1034) was submitted to the council to consider if the details were required. The decision was taken that prior approval was not required and that demolition could proceed in accordance with the submitted details. The majority of the buildings on the site have now been demolished and it should be noted that demolition does not form part of this planning application under consideration.

Statement of community involvement

Several measures have been undertaken by the applicants on behalf of the council to ensure that the correct level of community consultation has been undertaken for the project. Firstly, the proposals were publicised on the council's website on 19 August 2015 and then in the Scunthorpe Telegraph on 20 August 2015. Secondly, a letter drop with information and contact details was undertaken in the immediate neighbourhood on 26 August 2015. Thirdly, a publicity event was held on 27 August 2015 from 1pm to 7pm at the Civic Centre, Ashby Road, Scunthorpe. Details of people's responses and comments have been submitted as part of the application documentation, the main concerns were around the following:

- gas protection measures
- piling techniques
- damage to Midland Road
- odour
- demolition works.

Planning policy

National Planning Policy Framework requires the planning system to assist in delivering sustainable development and ensure the use of natural resources prudently while minimising waste. The WTS complies with these core aims recognised within paragraph 7, firstly because the site is located within the urban area of Scunthorpe which is the main focus for development within North Lincolnshire and the most sustainable location, and secondly because the development will reduce the need for land-take through landfill and reduce the amount of waste. Similarly the relocation of the Transport Services department complies with the core aspirations for sustainability of minimising vehicle journeys both in terms of staff journeys to and from work and operations of the fleet of vehicles from a more centralised location.

The planning system is required to guide development to sustainable solutions and this proposal complies with the key principles of the National Planning Policy Framework by supporting the transition to a low carbon future and developing a brownfield site within the urban area as recognised within paragraph 17.

Framework paragraph 122 states that ‘...local planning authorities should focus on whether the development itself is an acceptable use of the land, and the impact of the use, rather than the control of processes or emissions themselves where these are subject to approval under pollution control regimes. Local planning authorities should assume that these regimes will operate effectively.

The proposal generally complies with the provisions of policies CS2 (Delivering More Sustainable Development), CS18 (Sustainable Resource Use and Climate Change) CS20 (Sustainable Waste Management) of the North Lincolnshire Core Strategy by virtue of its location within Scunthorpe, on a brownfield give rise to unacceptable site and by virtue of the WTS facilitating recycling and ultimately using waste for energy. The proposal complies with policy W9 (Handling of Waste) in the North Lincolnshire Local Plan as it is located within an existing industrial site, close to the likely source of waste, and will not give rise to unacceptable environmental impacts. It should be recognised that policy CS18 also requires that development and land use helps to protect people and the environment from unsafe, unhealthy and polluted environments by protecting and improving the quality of the air, land and water. Assessment against this part of the policy also involves the consultation responses from the Environmental Protection team and other regulatory bodies such as the Environment Agency.

Environmental impacts

Contaminated land

A Contaminated Land Risk Assessment report was submitted along with an Outline Remedial Strategy for the site. The recommendations in the Outline Remedial Strategy can be summarised as follows:

1. the installation of hard standing cover across the site to prevent direct contact with the underlying waste material
2. protection of construction workers on the site with adequate PPE and oxygen alarms to detect landfill gas during the construction phase
3. perimeter monitoring for landfill gas odours during development

4. the making safe, cleaning and filling of fuel storage tanks
5. incorporation of ground gas protection measures in line with CIRIA CS3 which would include the installation of a gas membrane and ventilation of the floor slab to acceptable standards including validation and verification of the works in line with best practice
6. installation of protective drinking water pipes to protect permeation of contaminants in the ground
7. placing of all services in overdug/lined clean trenches (service corridors)
8. disposal of any superficial deposits or bedrock as inert waste
9. excavation of any overlying waste to be disposed of off-site.

The Environmental Protection department is satisfied that in principle sufficient evidence has been provided to demonstrate that, subject to the imposition of planning conditions, the site can be safely developed.

Odour

An odour management plan and (COSHH) Control of Substances Hazardous to Health Risk Assessment was submitted to the local planning authority. The Environmental Protection team considers that there are a wide variety of odour abatement technologies that can be used to achieve appropriate abatement of odours. The applicant should be able to demonstrate, via appropriate management practices supported by odour modelling (undertaken by a qualified competent specialist), that odour can be effectively controlled to protect neighbouring businesses.

This type of detailed information will be submitted to the EA for consideration as part of the Environmental Permit application prior to the operation becoming operational and is also required by suggested conditions 21 and 22.

Air quality

An Air Quality Assessment has been submitted with the application. The site is located within an Air Quality Management Area (AQMA) for PM10s. There are no objections raised to the details submitted and they have been found to be acceptable.

Noise

A noise report has been submitted with the application. The report reviews noise data in relation to the operation of the WTS but did not include data for the relocation and operation of the council's Transport Services (TS). Environmental protection considered that if the operations of the school bus services, which currently operates at 53-55 Midland Road, was on a like for like basis then no further controls would be necessary. The applicants confirmed that the operations were on a like-for-like basis.

Light

An external lighting scheme and a Lighting Impact Assessment have been submitted with the application. The information provided is considered to be acceptable subject to a condition controlling the details.

In summarising the environmental protection consultation responses it is important to recognise that the local planning authority considers issues regarding the use of land and any matters that arise during the processing of planning applications that constitute material planning considerations to that planning application in the undertaking of its functions. The regulatory requirements for permitting of proposals that deals with odour and other emissions is dealt with by the Environment Agency.

In a recent appeal decision (APP/Y2003/W/15/3006726) it was highlighted that Planning Practice Guidance notes that ‘...There exist a number of issues which are covered by other regulatory regimes and waste planning authorities should assume that these regimes will operate effectively. The focus of the planning system should be on whether the development itself is an acceptable use of the land and the impacts of those uses, rather than any control processes, health and safety issues or emissions themselves where these are subject to approval under other regimes. However, before granting planning permission they will need to be satisfied that these issues can or will be adequately addressed by taking the advice from the relevant regulatory body...’

Consequently it is noted that Environmental Health Officers advise that odour can be managed satisfactorily and that the detailed issues regarding odour are the responsibility of the Environment Agency through its permitting regulations and the operation of a waste transfer station in this location should not have any adverse environment impacts.

Highways

A Transport Assessment has been submitted with the application and assessed by the council's highways department. Traffic movements to the WTS facility will average 50 per day equating to 250 per week. The majority of the movements will be made by refuse trucks with mass ejector vehicles being less frequent. The existing vehicular access is a single gated point of access on the south-western boundary with Midland Road. The proposal involves the modification of the access to create two access points with double swing gates, and automated security barriers behind the gates. Drivers will have swipe cards to open the barriers. The 2.5 metre high gates will be set back into the site to allow articulated lorries accessing the WTS an appropriate amount of turning space off the highway. Further information was requested and submitted and resulted in Highways recommending the imposition of conditions. The traffic flows as a result of the relocation of Transport Services is 480 vehicle movements a day, half of which will be by staff private vehicles. The TS fleet of vehicles consists of vans, minibuses, people carriers and buses.

Flood risk

The Environment Agency and the council's drainage team (LLFA) have been consulted and neither object to the proposal subject to the imposition of conditions controlling land contamination, pollution prevention and drainage. Surface water will be disposed of via main sewers from an attenuation system through a hydro-brake system.

Trees

Several trees exist on the site frontage which are proposed to be felled. The council's tree officer initially objected requiring replacement trees to be planted. A plan has been submitted by the applicants illustrating that three replacement trees can be planted to the south of the vehicular accesses on the frontage of the site. These landscaping requirements can be controlled by conditions.

With regard to the remaining issues raised through the publicity period, the Waste Transfer Station will not be accepting garden waste direct from members of the public, and land and property values are not material planning considerations.

Conclusion

With regard to the compatibility of the WTS with the TS facility, there are no planning reasons why both operations cannot operate simultaneously alongside each other. From a planning policy perspective the proposals comply with national and local planning policy, particularly those that emphasise the need for sustainable development. The issues relating to the potential environmental impacts of the Waste Transfer Station have been addressed through the imposition of conditions and will ultimately be controlled through the permitting requirements of the Environment Agency. With regards to surface water drainage, the scheme proposed meets with the approval of both the Environment Agency and the Lead Local Flooding Authority (LLFA). Consequently no planning reasons exist to withhold consent.

RECOMMENDATION Grant permission subject to the following conditions:

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans submitted on 7 August 2015: 7277.101 Location Plan; 7277.102 Existing Site Plan; 7277.103 Rev B Proposed Site Plan; 7277.104 Rev A Existing & Proposed Block Plans; 7277.105 Existing Topographical Plan; 7277.106 Existing Plans, Sections & Elevations; 7277.107 Rev A Proposed Plan, Sections & Elevations; 7277.108 Proposed Four Bay Modular Transport Station Building; 7277.109 Proposed Five Bay Modular Transport Station Building Plan & Elevations; Proposed Covered Parking Building; 7277.110 Proposed Plan & Elevations; 7277.111 Proposed Drainage Plan; 7277.112 Proposed Demolition Layout; and 7277.113 Rev A White Lining Layout.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

Notwithstanding the provisions of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015, no buildings, extensions, hardstandings, plant or machinery or other developments permitted at waste management facilities shall be

erected on the site under or in accordance with part 7 of schedule 2 to that order without planning permission from the local planning authority.

Reason

It is vital that any new structures that are erected on the site have in place adequate landfill gas protection measures to prevent potential harm to anyone working at the site in accordance with policies DS7 and DS13 of the North Lincolnshire Local Plan.

4.

No buildings of the development hereby permitted shall be occupied until the lighting scheme as set out in the following approved documents has been implemented in full.

- Lighting Layout ref: 001 rev FA
- Lighting Spill Plan 1
- External Lighting Scheme dated 21/08/15
- Obtrusive Light Calculations dated 21/09/15
- Lighting Impact Assessment rev 1.

Reason

To ensure the site is appropriately lit, in the interests of health and safety, crime prevention and to protect the residential amenity of the occupants of the nearest dwellings to the site in accordance with policies DS1, DS3, and DS12 of the North Lincolnshire Local Plan.

5.

The lighting scheme to be implemented pursuant to condition 4 shall be retained for the lifetime of the development hereby permitted unless otherwise approved in writing by the local planning authority.

Reason

To ensure the site is appropriately lit, in the interests of health and safety, crime prevention and to protect the residential amenity of the occupants of the nearest dwellings to the site in accordance with policies DS1, DS3, and DS12 of the North Lincolnshire Local Plan.

6.

Development must not commence until parts 2 to 4 below have been complied with. If unexpected contamination is found after development has begun, development must be halted on that part of the site affected by the unexpected contamination to the extent specified by the local planning authority in writing until part 4 has been complied with in relation to that contamination.

Part 2: Submission of Remediation Scheme

A detailed remediation scheme that expands and builds upon the proposal as set out in the submitted Outline Remedial Strategy 21 Midland Road Scunthorpe Version 1.0 September 2015, by EPG Limited that will bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property must be prepared, and is subject to the approval in writing of the local planning authority. The scheme must include all works to be undertaken, proposed remediation objectives and

remediation criteria, validation and verification criteria, timetable of works and site management procedures, including maintenance of the proposed remedial measures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

Part 3: Implementation of Approved Remediation Scheme

The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out remediation, unless otherwise agreed in writing by the local planning authority. The local planning authority must be given two weeks' written notification of commencement of the remediation scheme works.

Following completion of measures identified in the approved remediation scheme, a verification report (referred to in PPS23 as a validation report) that demonstrates the effectiveness of the remediation carried out must be produced, and is subject to the approval in writing of the local planning authority.

The approved and implemented remediation scheme shall be adequately maintained throughout the life of the development in accordance with a submitted and approved management plan such that the site cannot be designated as contaminated land under Part 2A of the Environmental Protection Act 1990.

Part 4: Reporting of Unexpected Contamination

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the local planning authority. An investigation and risk assessment must be undertaken, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of Part 2, which is subject to the approval in writing of the local planning authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the local planning authority in accordance with Part 3.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

7.

The Waste Transfer Station (WTS) facility shall only accept new waste between the hours of 6.30am until 7pm seven days per week and on public/bank holidays unless a variation is agreed to in writing by the local planning authority.

Reason

To protect the amenity of occupants of residential properties from noise disturbance at unsocial hours in accordance with policies DS1 and DS11 of the North Lincolnshire Local Plan.

8.

No site clearance, ground works or construction activities on site shall commence until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the local planning authority. The Construction Environmental Management Plan shall address as a minimum the following areas:

1. the assessment and control of off-site noise emissions from construction activities
2. the assessment and control of off-site odour emissions from the exposure and processing of waste materials
3. the assessment and control of off-site dust emissions from the processing of waste materials and general construction activities
4. the assessment and protection of workers and visitors from contamination and landfill gas at the site
5. methods of assessing and dealing with disposal/re-processing of waste materials on site
6. methods of communicating with and addressing complaints from the general public
7. methods for dealing with unexpected contamination
8. proposed hours of operation.

Reason

In the interests of protecting the amenity of occupants of residential properties and the workforce of surrounding business operations in the vicinity in accordance with policies DS1, DS7 and DS11 of the North Lincolnshire Local Plan.

9.

The approved CEMP, as required by condition 8, shall be complied with in its entirety throughout the construction phase of the development hereby permitted.

Reason

In the interests of protecting the amenity of occupants of residential properties and the workforce of surrounding business operations in the vicinity in accordance with policies DS1, DS7 and DS11 of the North Lincolnshire Local Plan.

10.

The waste throughput of the WTS facility shall not exceed 75,000 tonnes per annum, unless otherwise agreed in writing by the local planning authority.

Reason

The WTS facility has been assessed on the maximum level of waste throughput and any exceedance will require further justification.

11.

There shall be no burning of waste material on site at any time.

Reason

In the interests of protecting the amenity of occupants of residential properties and the workforce of surrounding business operations in the vicinity in accordance with policies DS1, DS7 and DS11 of the North Lincolnshire Local Plan.

12.

The Waste Transfer Station hereby approved shall only accept the following waste types at the site:

- household waste collected by or on behalf of the local authority from domestic premises
- household waste collected by or on behalf of the local authority at household waste recycling centres (but excluding recyclable materials collected at household waste recycling centres)
- similar wastes collected on behalf of the local authority from commercial, industrial or institutional locations or delivered by registered charities specified by the local authority.

Reason

In the interests of protecting the amenity of occupants of residential properties and the workforce of surrounding business operations in the vicinity in accordance with policies DS1, DS7 and DS11 of the North Lincolnshire Local Plan.

13.

The application site shall be completely hard-surfaced as set out in plan ref 7277.103.rev B.

Reason

The application and its environmental impacts have been assessed on this basis.

14.

No development shall take place until details of the method of constructing the amended access to the site (including the retention of adequate visibility splays) have been submitted to and approved in writing by the local planning authority. Development shall be carried in accordance with the approved details.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

15.

Neither of the proposed units on site shall be brought into use until the vehicle access to them and the vehicle parking, turning and servicing areas serving them have been completed in accordance with the approved details. Once complete the vehicle parking, turning and servicing areas shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

16.

The final travel plan shall be submitted to and approved in writing by the local planning authority within six months of the proposed development being brought into use and all conditions and requirements of the plan, once approved, shall be implemented and retained at all times.

Reason

To ensure that the proposed development operates in a safe and sustainable manner with minimal disruption to the highway network.

17.

The travel plan, once approved and in place, shall be subject to monitoring on an annual basis for a period of three years from the date of this planning permission. The monitoring report on the impact of the travel plan shall be submitted to the local planning authority on the first of January each year following the grant of planning permission. All amendments to the approved travel plan identified as a result of the monitoring process shall be implemented and retained.

Reason

To ensure that the proposed development operates in a safe and sustainable manner with minimal disruption to the highway network.

18.

No development shall take place until details of the proposed landscaping have been submitted to and approved in writing by the local planning authority. The submitted details shall include planting plans, written specifications (of cultivation and operations associated with establishment), a schedule of plants (species, sizes, numbers, densities, implementation programme), the identification of all existing trees and hedgerows on the site, and details of those existing trees and hedgerows to be retained, together with measures for their protection during the course of development. Development shall be carried out in accordance with the approved details.

Reason

To enhance the appearance of the development in the interests of amenity.

19.

All the approved landscaping scheme pursuant to condition 18 shall be carried out within twelve months of development being commenced (unless a longer period is agreed in writing by the local planning authority). Any trees which die, are removed or become seriously damaged or diseased within five years from the date of planting shall be replaced in the next planting season with others of similar size and species to those originally required to be planted, unless the local planning authority agrees in writing to any variation.

Reason

To ensure the implementation and maintenance of the submitted scheme of landscaping for the proposed development.

20.

The development hereby permitted shall be constructed fully in accordance with the approved drainage plan (plan number 7277.111).

Reason

To ensure the development is undertaken in accordance with the agreed drainage scheme in accordance with policy CS19 of the North Lincolnshire Core Strategy.

21.

Prior to the operation of the development hereby permitted there shall be submitted for written approval to the local planning authority a scheme for the control of odorous substances from the Waste Transfer Station Building. The proposed scheme shall be supported by odour modelling which shall be carried out by a qualified, competent and experienced practitioner in accordance with current good practice guidance. The odour modelling will include all the specific waste streams that the Waste Transfer Station Building will be used for and that are included within the Environmental Permit.

Reason

In the interests of protecting the amenity of occupants of residential properties and the workforce of surrounding business operations in the vicinity in accordance with policies DS1, DS7 and DS11 of the North Lincolnshire Local Plan.

22.

The approved scheme under condition 21 shall be implemented in full prior to operation of the development and shall be retained thereafter.

Reason

In the interests of protecting the amenity of occupants of residential properties and the workforce of surrounding business operations in the vicinity in accordance with policies DS1, DS7 and DS11 of the North Lincolnshire Local Plan.

Informative 1

It is a requirement of Approved Document B5, Section 16 Commercial Properties or B5, Section 11 for Domestic Premises that adequate access for fire-fighting is provided to all buildings or extensions to buildings.

Adequate provision of water supplies for fire-fighting appropriate to the proposed risk should be considered. If the public supplies are inadequate it may be necessary to augment them by the provision of on-site facilities.

Informative 2

The minimum volume of the secondary containment should be at least equivalent to the capacity of the tank plus 10%. If there is more than one tank in the secondary containment, the capacity of the containment should be at least the capacity of the largest tank plus 10% or 25% of the total tank capacity, whichever is greatest. All fill points, vents, gauges and sight gauges must be located within the secondary containment. The secondary containment must have no opening used to drain the system. Associated above-ground pipework should be protected from accidental damage. Below-ground pipework should have no mechanical joints, except at inspection hatches and either leak detection equipment installed or regular leak checks. All fill points and tank vent pipe outlets should be detailed to discharge downwards into the bund.

This development will require an environmental permit under the Environmental Permitting (England and Wales) Regulations 2010 from the Environment Agency, unless a waste

exemption applies. The applicant is advised to contact the EA to discuss the issues likely to be raised.

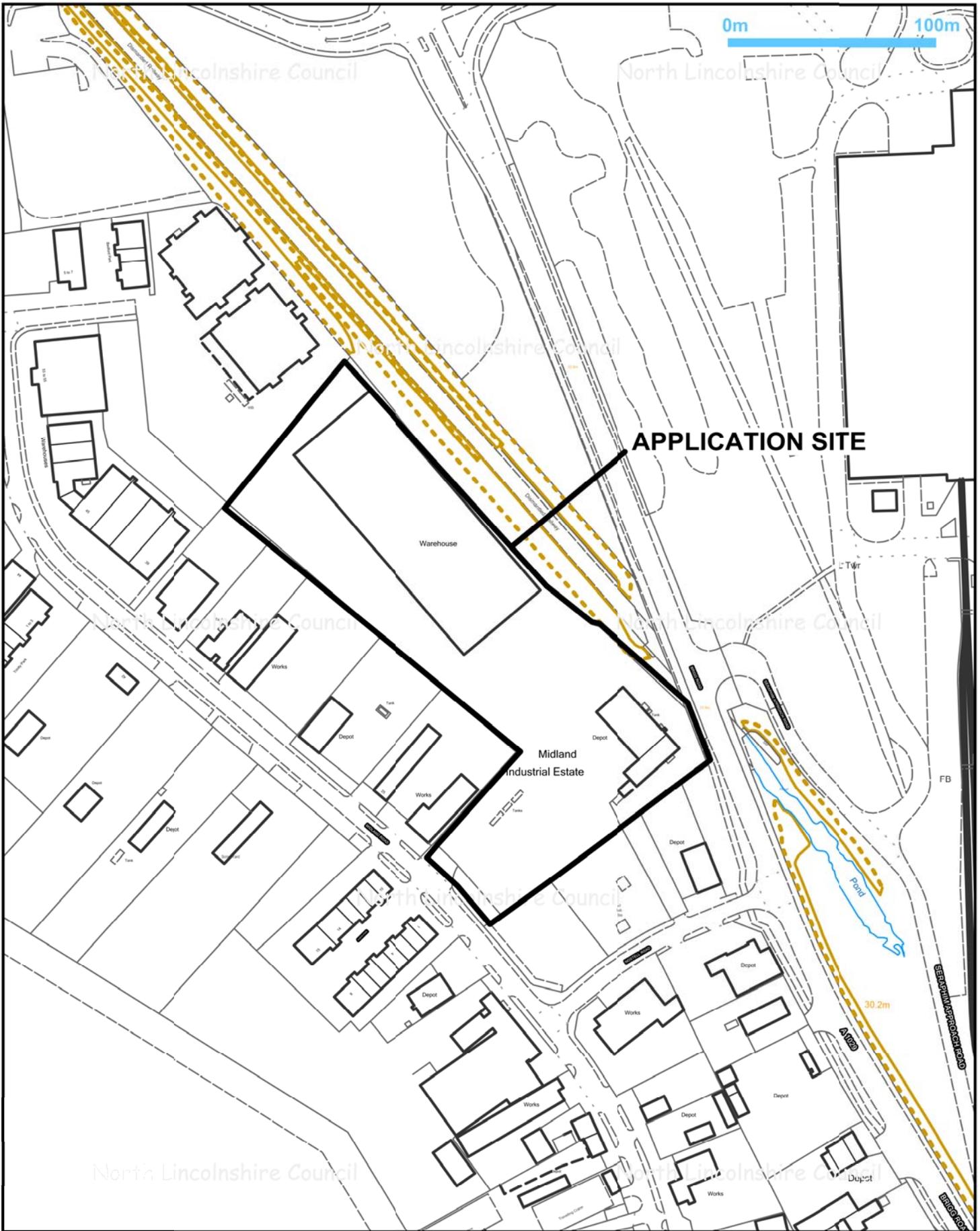
Informative 3

The development hereby granted planning permission requires works to be carried out within the limits of the adopted (public) highway. Therefore:

- before ANY construction works take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297000 to arrange for the relevant permissions/licenses to be issued;
- before ANY service (utility) connections take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297319 to arrange for the relevant permissions/licenses to be issued.

Informative 4

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraphs 186 and 187 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



Title: WD/2015/1184

Drawn by: Sue Barden

Date: 01/12/2015

Scale @A4 1:2500



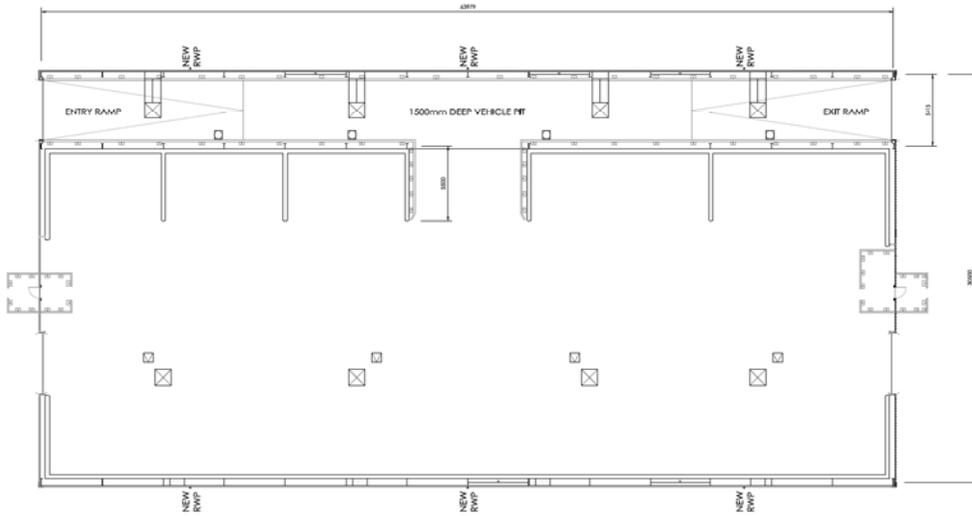
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Director of Places
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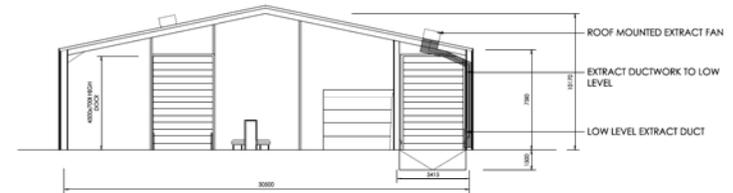
WD/2015/1184 Proposed Elevation - Not to scale



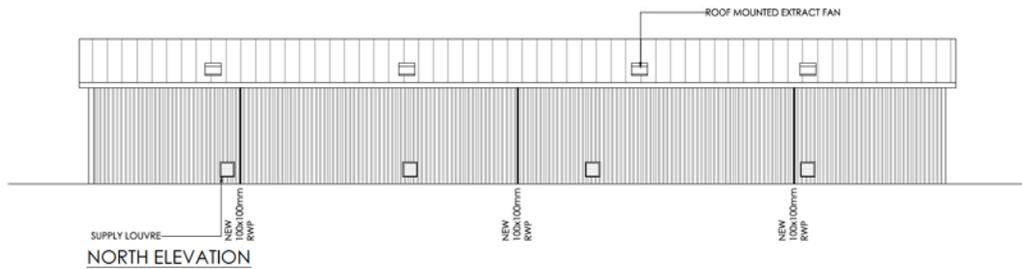
PROPOSED INTERNAL FLOOR PLAN (SHOWING EXTRACTION LAYOUT)



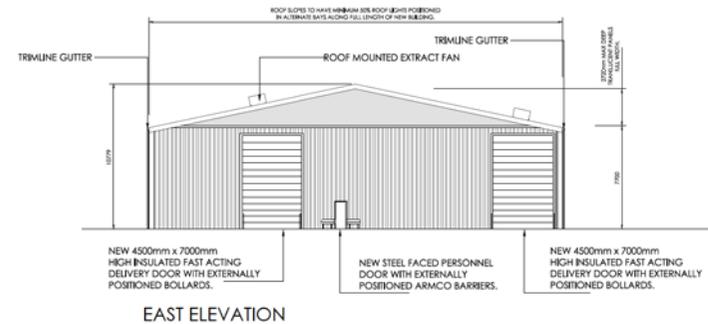
TYPICAL LONG SECTION



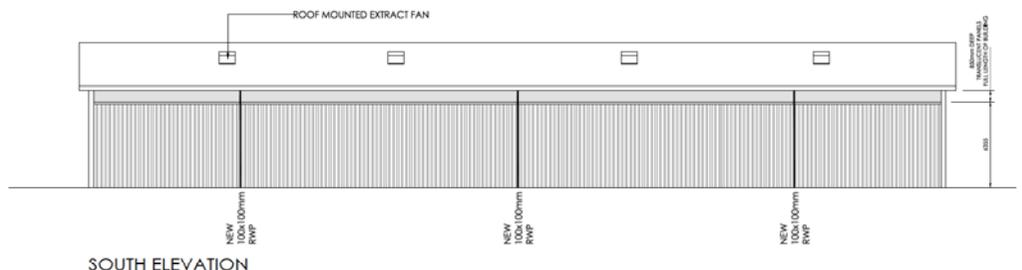
TYPICAL CROSS SECTION



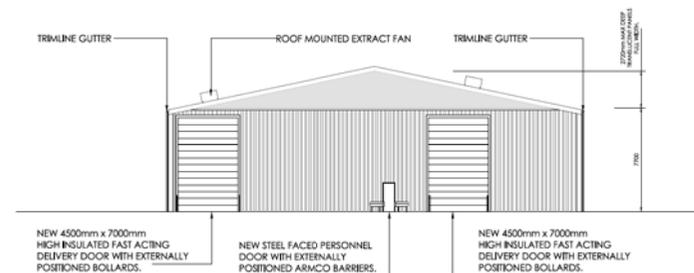
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION