

<b>APPLICATION NO</b>	<b>PA/2014/1311</b>
<b>APPLICANT</b>	Church Crown Limited
<b>DEVELOPMENT</b>	Outline planning permission for the erection of 18 residential units (access and layout included)
<b>LOCATION</b>	Land to the east of Church Lane, Ulceby
<b>PARISH</b>	<b>ULCEBY</b>
<b>WARD</b>	Ferry
<b>CASE OFFICER</b>	David Wordsworth
<b>SUMMARY RECOMMENDATION</b>	<b>Subject to the completion of a Section 106 agreement, grant permission subject to conditions</b>
<b>REASONS FOR REFERENCE TO COMMITTEE</b>	Objection by Ulceby Parish Council

## **POLICIES**

**National Planning Policy Framework:** Paragraphs 47, 48, 49, 50, 53, 55, 56, 57, 64, 66, 75, 96, 109, 118, 128, 131, 132, 186, 187, 196 and 197.

**North Lincolnshire Local Plan:** Policies ST3 (Development Limits), H5 (New Housing Development), H8 (Housing Design and Housing Mix), H10 (Public Open Space Provision in New Housing Developments), T2 (Access to Development), HE5 (Development Affecting Listed Buildings), HE9 (Archaeological Evaluation), DS1 (General Requirements), DS3 (Planning Out Crime) and DS16 (Flood Risk).

**North Lincolnshire Core Strategy:** Policies CS1 (Spatial Strategy for North Lincolnshire), CS2 (Delivering More sustainable Development), CS3 (Development Limits), CS5 (Delivering Quality Design in North Lincolnshire), CS6 (Historic Environment), CS7 (Overall Housing Provision), CS9 (Affordable Housing), CS17 (Biodiversity), CS18 (Sustainable Resource Use and Climate Change) and CS19 (Flood Risk).

## **CONSULTATIONS**

**Highways:** No objections subject to conditions.

**Historic Environment Record:** No objections subject to conditions.

**Drainage Team:** At the time of writing, object to the proposed development for the following reasons:

The outline planning application does not provide a principal drainage strategy. This should include sketch drainage layout plans, topographical survey and outline hydraulic calculations for a 1 in 100 year storm event plus CC (climate change) based on SUDS principles, including adoption/maintenance proposals. Additionally, the outline planning

application does not provide desktop ground investigation details to support the feasibility of infiltration for the site.

**Environment Team:** No objections subject to conditions requiring a biodiversity management plan.

**Environmental Protection:** No objections subject to conditions controlling construction operations.

**Humberside Fire and Rescue Service:** No objections.

**Humberside Police:** No objections.

**North East Lindsey Drainage Board:** No objections providing that surface water run-off is directed to the mains sewer as indicated.

**Public Rights of Way Officer:** Objects regarding public safety while crossing the access road when continuing along the public right of way.

**Public Health:** No objections.

**Public Open Space:** This proposal requires an off-site contribution to improve existing recreational facilities within Ulceby.

**Environment Team (Trees):** The proposal includes the pruning of existing trees that are protected by a tree preservation order but the details proposed are not suitable to protect them and therefore a condition would be required. With regard to landscape, opportunities exist to improve tree cover and details of such will be required prior to the commencement of development. This element can also be controlled by condition.

**Strategic Housing:** No objections to the proposed scheme because the proposal includes the provision of two affordable units which complies with policy CS9 of the North Lincolnshire Core Strategy.

**Community Involvement:** Prior to submitting the previous outline planning application on the site the applicants approached the parish council to involve the community. The applicants attended a parish council meeting and answered questions raised. This was not repeated for the current application.

## **PARISH COUNCIL**

Objects to this application on the following grounds:

### **1. Loss of light and overshadowing, and overlooking/loss of privacy**

The proposed development consists of predominantly two-storey dwellings which will result in loss of light, overshadowing, overlooking and loss of privacy to existing properties on Church Lane.

### **2. Adverse effect on a building of historical importance (the church)**

The proposed development lies within an area of a former medieval settlement where below-ground heritage assets of archaeological value are anticipated – it is likely that as

this area of land has remained undeveloped any archaeological remains are likely to be well preserved.

### **3. Impact on public footpath 112**

Public footpath 112 runs in a southerly direction from Church Lane. The design and access statement provided by the applicants state that schoolchildren will not have to cross the access road on their route to the primary school – however if pedestrians use the pavement to connect with the public footpath at the southern end, they will have to cross the driveway of plot 3 as indicated in phase 1 of the proposed development. This is not acceptable and represents a health and safety issue for pedestrians, particularly schoolchildren. The public footpath should not be encroached upon or obstructed during or after construction and it is impossible to visualise how obstructions will be prevented during the construction process.

### **4. Highway safety**

Church Lane is a narrow road, serving existing properties, the church and a busy primary school. Children travel to the school from outlying villages and Church Lane becomes congested with traffic on a regular basis. Construction traffic, and eventually traffic accessing and exiting the new development, will cause highway safety issues.

### **5. Traffic generation**

Construction traffic, along with vehicles associated with the newly-built properties, will increase traffic generation, and cause congestion and safety issues to existing residents and schoolchildren walking to the primary school.

### **6. Noise and disturbance resulting from use**

The construction of this proposed development will cause noise and disturbance of an intolerable nature to existing residents and the extra volume of traffic accessing and exiting the proposed new development once constructed will create further noise and disturbance to existing residents.

### **7. Local drainage and flooding issues**

The proposed development is situated on a higher level than existing properties in Church Lane. The existing drainage system for surface water and sewage drainage in Ulceby is unsatisfactory and has failed on many occasions – resulting in flooding issues and sewage being evident along Church Lane. The surface water will run onto existing properties causing flooding problems as the soakaways provided within the new development will be too high.

## **PUBLICITY**

The application has been advertised by site and press notice, and neighbouring properties notified by letter. Numerous letters of objection have been received which are summarised below:

## **Access and parking**

- Church Lane and the proposed access are very narrow and the access is located adjacent to an existing school. There will therefore be major congestion problems twice a day.
- Large farm vehicles use Church Lane 24 hours a day, 7 days a week, adding to the problems.
- The proposed access will create a potentially dangerous crossing for pedestrians, particularly children and parents picking up and dropping off at the school.
- A proposed shared access road without footpaths must be sufficiently different in character from other roads (see North Lincolnshire Council's Residential Roads Design Guide).
- Only 27 parking spaces are proposed, but each household is likely to have at least two cars resulting in the remaining cars being parked along Church Lane where current residents park. Additional on-street parking is therefore not welcome.
- The building of 21 houses is likely to lead to a further 42 cars using the street on a daily basis (an increase of 130%).
- Buses bringing children to the school often have to reverse as there is no room to turn round.
- There is a major bottleneck outside the first two properties.
- Access for emergency services will be necessary and will prove very difficult.
- Highway safety is a key concern.

## **Drainage**

- The drainage system on Church Lane only just copes with the houses there now. An extra 21 houses will increase existing problems.
- Anglian Water has confirmed that drainage in Ulceby is inadequate and improvements to the drainage system are required but these have not yet taken place. No response has been received from Anglian Water on this application but their response on the previous one stated that the surface water strategy was unacceptable because it was proposed to connect to the public sewer.
- There is no other connection in Ulceby for surface water drainage. The soakaways do not work.
- The site is significantly higher than the surrounding area and water will run off towards existing properties.
- Existing residents are concerned that if the development is allowed it may result in sewage in people's houses in the future.

- In heavy rainfall water of all mixtures runs down the existing footpath to the drain on Church Lane and into Hallcroft.
- Sewage has come up out of the drains.
- The application form states that the area is not at risk of flooding and the development will not contribute to flooding elsewhere in the village. It also states that the existing drainage and sewers are to be used. Ulceby already has frequent problems with blocked drains. There has been severe flooding in recent years with damage to homes and therefore loss of this greenfield site, which acts as a natural soakaway, will exacerbate flooding problems.

### **Planning policy**

- Ulceby is classed as a minimum growth settlement within policy ST2 of the North Lincolnshire Local Plan, and policy H1 restricts development within such settlements to the building of single, and in exceptional cases very small groups of dwellings up to a maximum of three, on infilling plots in the main body of the settlement. The applicants state in the design and access statement that this is an infill plot, therefore this proposal to build 18 houses far exceeds the permitted three dwellings.
- The North Lincolnshire Local Plan references PPG3 and states that greenfield sites should only be developed when brownfield land is not available. The proposal should therefore be rejected.
- The applicants suggest that this site is waste land, however this is inaccurate as it was formerly used for grazing sheep and was a paddock for a horse.

### **Amenity**

- The churchyard is designated as an area of amenity importance within the North Lincolnshire Local Plan, however extra traffic will damage this important part of Ulceby's heritage.
- Overlooking from the new houses will reduce privacy for existing occupiers of properties.
- The building work will adversely affect local business, particularly those who work from home due to large vehicles continually passing the site during construction and also the operational phase.
- The land on which the development lies is considerably higher than surrounding terrain (approximately 1 metre). The development would seriously reduce the amount of privacy enjoyed.

### **Other matters**

- The applicants state that there are no diversions or extinguishments, or the creation of any public rights of way, however the current footpath is clearly bisected by the new access road so part of it is definitely being extinguished.
- The map used as part of the application is inaccurate as there is no longer a health centre and it was the wrong location anyway.

- The proposal is not in keeping with the rural country style and setting at this end of the village.
- Pressure on infrastructure – any ground disturbance or construction work on the site will result in the destruction of significant archaeological remains.
- It is believed that a covenant on the land, when sold in 1988, restricts development to a maximum of seven properties.

## **ASSESSMENT**

This application is in outline form with only the access and layout being determined at this stage. The remaining details of scale, appearance and landscaping are required to be applied for at a later stage by the submission of reserved matters applications to the council for consideration.

Vehicular access is proposed to the eastern side of Church Lane adjacent to an existing public footpath that runs between Church Lane and Hallcroft at the end of a row of detached dwellings that sit opposite St Nicholas Church, a grade I listed building. To the south of the point of access is a separate development site referred to by the applicants as phase 1 which contains three plots that were recently under construction and were granted planning permission separately under planning permission PA/2004/0915. This application site sits to the rear of frontage dwellings that face onto Church Lane. The land is overgrown and contains several existing trees, two of which are positioned centrally and benefit from a tree preservation order. The site is approximately 0.6 hectare in size, is roughly rectangular in shape and sits within a central core of Ulceby, well within the development limit that surrounds the settlement. The topography of the site is such that it has a fall of 1 metre from north to south and also from west to east of 1.2 metres. The proposed layout illustrates the access road running centrally within the site culminating in a cul-de-sac turning head around an element of open space that contains a tree protected by a tree preservation order. The proposal for 18 dwellings includes a mix of house types and sizes, including two-bedroom detached bungalows, two-bedroom town/terraced houses, three-bedroom semi-detached and three and four-bedroom detached dwellings. The layout allocates all dwellings with a rear garden area and provides parking spaces within each plot or through the provision of rear parking areas accessed off the cul-de-sac. The following documents were submitted with the application:

- design and access statement
- ecological survey
- arboricultural report
- heritage impact assessment
- archaeological evaluation report and a scheme of archaeological mitigation.

**The key issues in the determination of this application are:**

- **whether the proposal complies with national and local planning policies;**
- **whether the access arrangements are acceptable;**

- **whether the development would have an adverse impact upon flood risk and drainage issues within the area; and**
- **whether the residential amenity of residents of existing properties surrounding the site would be adversely affected.**

Several planning applications have previously been made on the site, the most notable under planning reference PA/2012/1028. That application was also in outline form and proposed the same level of development (18 dwellings) as proposed under this current application. The application was the subject of an appeal against non-determination, which was dismissed. However the inspector's decision does carry significant weight in the determination of this application and a copy of that decision is attached for members' information.

### **Planning policy**

National planning policy, in the form of the National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG), requires the planning system to support sustainable economic growth and to boost significantly the supply of housing. The NPPF recognises the importance of good design requiring poorly-designed proposals that fail to take the opportunities available for improving the character and quality of an area to be refused. Additionally, inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk.

The strategic policies of the North Lincolnshire Core Strategy require a sequential approach to be adopted that centres around previously-developed land in Scunthorpe firstly, then within the market towns and finally small-scale developments within the defined limits of rural settlements to meet identified local needs. Ulceby is identified as a rural settlement and the site lies within the development boundary as identified within both the North Lincolnshire Local Plan and the Housing and Land Allocations Document. Whilst it could be argued that the construction of 18 dwellings in a rural settlement is not small-scale development related to existing local need, there are no thresholds within the Core Strategy to restrict development by numbers and consideration is required to be given to the level of facilities provided within a settlement so that the development can be accommodated in a sustainable manner. This matter was previously considered by the inspector in the previous appeal on the site and the inspector did not consider this matter to be one of the main issues in the determination of the case which related only to the impact upon the setting of the Church of St Nicholas, the potential archaeology below the appeal site and the level of information submitted by the applicants to allow assessments to be made. Consequently it is felt that the issue of planning policy is addressed by the previous appeal and the principle of allowing this scale of development on this site is therefore acceptable.

### **Access**

The access proposed from Church Lane includes the provision of a footpath to the southern side which continues from the site along the southern boundary to link up with Hallcroft to the east. The issue of access and highway-related concerns were considered both by the highways department and the inspector during the previous appeal and both the highways department and the inspector considered the arrangements to be acceptable subject to the imposition of conditions. Similarly no objections have been raised by the local highway authority in consideration of this application and subject to conditions being imposed on any grant of permission.

## **Flood risk and drainage**

This site is located within flood zone 1 of North Lincolnshire Council's Strategic Flood Risk Assessment (SFRA). This flood zone is the most preferable for development in North Lincolnshire because it is at least risk from fluvial or tidal flooding. The council's drainage team has been consulted and states that the proposed development will have a direct impact on surface water run-off/drainage overflow and therefore adequate works must be undertaken to mitigate against this. For clarity, the inspector, in the previous appeal on the site, did not consider the matter of drainage to be a main issue, however conditions are proposed to ensure that the issue of surface water drainage is dealt with appropriately prior to the commencement of any development on the site.

## **Residential amenity**

The layout proposed is the same as that considered under the previous appeal. The inspector commented as follows:

*At my site visit I was able to view the appeal site from a number of rear gardens belonging to houses on Church Lane as well as from the ground and first floor rear windows of one of the dwellings. I saw that the appeal site is higher than the gardens of the dwellings on Church Lane and that these residents currently look over an open overgrown field and then low rise development beyond, on Hallcroft. Clearly the introduction of 2 storey dwellings on this site would affect their outlook. However, all of the dwellings on Church Lane, that back onto the site, have good sized rear gardens and according to the submitted indicative layout plan all of the new dwellings would be off-set from the shared boundary to a sufficient degree to prevent any undue harm to living conditions.*

Consequently this matter has already been considered in detail by the planning inspector and weight is given to this opinion.

## **Archaeology and heritage issues**

In considering the previous appeal on the site, the inspector noted that the appellants had not carried out any investigation in relation to archaeology and the extensive earthworks that would be required in relation to the type of development proposed would be highly likely to have some impact on below-ground artefacts. The inspector considered that it was critical that a desk-based assessment was carried out and, if necessary, a field evaluation prior to planning permission being granted. Whilst both of these requirements were subsequently carried out, including trial trenching, and reports submitted in support of this planning application, the council's Historic Environment Record (HER) officer required a written scheme of investigation for archaeological excavation of the site which was prepared and submitted by the applicants. Consequently the previous objection raised by HER has now been removed subject to the imposition of conditions ensuring that any archaeological work is undertaken in accordance with the archaeological mitigation scheme.

With regard to impact upon the setting of St Nicholas Church to the west of the site, a grade I listed building, the inspector considered that harm to the significance of this heritage asset would be minimal and would be outweighed by the benefits of securing the optimum viable use of the site. The relevant paragraph is inserted below:

*Indeed most views of the church would remain completely unaffected by the development and a small number of other views would be affected to a very small degree. The harm to*

*the significance of this heritage asset would be minimal and in any event this would be outweighed by the benefits of securing the optimum viable use of this disused overgrown site by providing housing and in particular two affordable housing units to meet an identified need.*

## **Other matters**

An objection was received regarding a covenant on the land when it was sold in 1988, however this is not a matter covered by planning legislation and is therefore not a material planning consideration.

In accordance with policies within the North Lincolnshire Local Plan and North Lincolnshire Core Strategy contributions are required towards the provision of affordable housing (10% within rural settlements under policy CS9 of the Core Strategy) which would equate to two affordable units on this site. The applicants have included a draft Section 106 agreement with the application that includes the provision of two affordable units on the site, thereby complying with policy CS9. With regard to public open space requirements, policy H10 of the North Lincolnshire Local Plan requires new housing developments on sites over 0.5 hectares to provide open space on a scale and in a form appropriate to serve the needs of residents, or alternatively to provide commuted payments for this provision to be made off site. The public open space officer has considered that an off-site contribution is required to upgrade and improve facilities at the parish council playing field in the centre of Ulceby and on amenity sites throughout the village owned by North Lincolnshire Council. Included within the draft Section 106 agreement attached to this application is the commuted sum required by the public open space officer. Consequently the proposal complies with policy H10 of the North Lincolnshire Local Plan.

## **RECOMMENDATION**

**Subject to the completion of a formal agreement under Section 106 of the Town and Country Planning Act 1990 providing for the provision of affordable housing and a commuted sum towards the provision of off-site public open space, the committee resolves:**

- (i) it is mindful to grant permission for the development;**
- (ii) the decision be delegated to the Head of Development Management upon completion of the obligation;**
- (iii) if the obligation is not completed by 3 December 2015 the Head of Development Management be authorised to refuse the application on grounds of adverse impact upon existing community facilities, lack of provision of affordable housing to address local needs and non-compliance with policies H10 of the North Lincolnshire Local Plan and CS9 of the North Lincolnshire Core Strategy; and**
- (iv) the permission so granted be subject to the following conditions:**
  - 1. Approval of the details of the scale and appearance of the building(s), and the landscaping of the site (hereinafter called 'the reserved matters') shall be obtained from the local planning authority in writing before any development is commenced.

Reason

The application has been made under Article 3(1) of the Town & Country Planning (General Development Procedure) Order 1995.

2.

Plans and particulars of the reserved matters referred to in condition 1 above, relating to the scale and appearance of any buildings to be erected, and the landscaping of the site, shall be submitted in writing to the local planning authority and shall be carried out as approved.

Reason

The application has been made under Article 3(1) of the Town & Country Planning (General Development Procedure) Order 1995.

3.

Application for approval of the reserved matters shall be made to the local planning authority before the expiration of three years from the date of this permission.

Reason

To comply with the provisions of Section 92 of the Town and Country Planning Act 1990.

4.

The development hereby permitted shall be begun either before the expiration of five years from the date of this permission, or before the expiration of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.

Reason

To comply with the provisions of Section 92 of the Town and Country Planning Act 1990.

5.

No development shall take place until details of:

- (i) the location and layout of the vehicular access; and
- (ii) the number, location and layout of the vehicle parking space(s) within the curtilage of the site;

have been submitted to and approved in writing by the local planning authority.

Reason

The application is in outline form and appropriate details are required prior to the installation of infrastructure, in the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

6.

No development shall take place until details showing an effective method of preventing surface water run-off from hard paved areas within the site onto the highway have been submitted to and approved in writing by the local planning authority. These facilities shall be implemented prior to the access and parking facilities being brought into use.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

7.

No loose material shall be placed on any driveway or parking area within 10 metres of the adopted highway unless measures are taken in accordance with details to be submitted to and approved in writing by the local planning authority to prevent the material from spilling onto the highway. Once agreed and implemented these measures shall be retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

8.

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that order with or without modification), nothing shall at any time be erected, retained, planted or allowed to grow over 1.05 metres in height above the level of the adjoining carriageway for a distance of 2 metres from the highway boundary across the site frontage.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

9.

No dwelling on the site shall be occupied until the vehicular access to it and the vehicle parking spaces serving it have been completed and, once provided, the vehicle parking spaces shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

10.

Works shall not commence on site until wheel cleaning facilities, in accordance with details to be submitted to and approved in writing by the local planning authority, have been provided within the curtilage of the site, and this facility shall be retained for the duration of the works.

Reason

To prevent material being deposited on the highway and creating unsafe road conditions.

11.

No development shall begin until details of:

- (i) the layout, drainage, construction, services and lighting of the proposed access road, including the junction with the adjacent highway; and
- (ii) the number and location of vehicle parking space(s) on the site;

have been submitted to and approved in writing by the local planning authority.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

12.

No dwelling on the site shall be occupied until the access road has been completed to at least base course level and adequately lit from the junction with the adjacent highway up to the access to the dwelling.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

13.

No other works shall be commenced on the site until the access road junction with the adjacent highway, including the required visibility splays, has been set out and established.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

14.

No dwelling on the site shall be occupied until the footway has been constructed up to base course level from the junction with the adjacent highway to the access to the dwelling.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

15.

No works shall be commenced on the penultimate dwelling on the site until the access road has been completed.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

16.

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that order with or without modification), no development shall take place within any service strip adjacent to any shared surface road, and any planting or landscaping within this service strip shall be of species which shall be agreed in writing with the local planning authority prior to planting.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

17.

No development shall take place until a construction phase traffic management plan showing details of all associated traffic movements, including delivery vehicles and staff/construction movements, any abnormal load movements, contractor parking and welfare facilities, storage of materials and traffic management requirements on the adjacent highway, has been submitted to and approved in writing by the local planning authority. Once approved the plan shall be implemented, reviewed and updated as necessary throughout the construction period.

#### Reason

The application is in outline form and appropriate details are required prior to the commencement of works, in the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan, and to minimise impact on the operation of the nearby school.

18.

Prior to the commencement of development, details shall be submitted to and approved in writing by the local planning authority of improvements to the existing footway fronting the site.

#### Reason

The application is in outline form and appropriate details are required to be agreed prior to the implementation of infrastructure, in the interests of highway safety and in accordance with policies T2 of the North Lincolnshire Local Plan and CS25 of the North Lincolnshire Core Strategy.

19.

The approved details as required by condition 18 shall be implemented prior to occupation of any dwelling on site.

#### Reason

To ensure the approved details are implemented in accordance with policies T2 of the North Lincolnshire Local Plan and CS25 of the North Lincolnshire Core Strategy.

20.

No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of the programme of archaeological work in accordance with the document 'Land off Church Lane, Ulceby, North Lincolnshire, DN39 6TB, Scheme of Archaeological Mitigation', Pre-Construct Archaeological Services, March 2015, and until the following details have been submitted to, and approved in writing by, the local planning authority:

- (i) a timetable of works in relation to the proposed development, including sufficient notification and allowance of time to ensure that the site work is undertaken and completed in accordance with the strategy
- (ii) monitoring arrangements, including the notification in writing to the North Lincolnshire Historic Environment Record of the commencement of archaeological works and the opportunity to monitor such works
- (iii) a list of all staff involved in the implementation of the strategy, including sub-contractors and specialists, their responsibilities and qualifications.

Reason

Appropriate details are required prior to commencement of works to comply with policy HE9 of the North Lincolnshire Local Plan because the site lies in an area of archaeological interest.

21.

The archaeological mitigation strategy shall be carried out in accordance with the approved details and timings, subject to any variations agreed in writing by the local planning authority.

Reason

To comply with policy HE9 of the North Lincolnshire Local Plan because the site lies in an area of archaeological interest.

22.

The development shall not be occupied until the site investigation and post investigation assessment has been completed in accordance with the programme set out in the written scheme of investigation approved under condition 20 and the provision made for analysis, publication and dissemination of results and archive deposition has been secured.

Reason

To comply with policy HE9 of the North Lincolnshire Local Plan because the site lies in an area of archaeological interest.

23.

A copy of any analysis, reporting, publication or archiving required as part of the mitigation strategy shall be deposited at the North Lincolnshire Historic Environment Record within one year of the date of completion of the development hereby approved by this permission or such other period as may be agreed in writing by the local planning authority.

Reason

To comply with policy HE9 of the North Lincolnshire Local Plan because the site lies in an area of archaeological interest.

24.

No development or tree works shall take place until an arboricultural impact assessment, a tree protection plan and an arboricultural method statement has been submitted to and approved in writing by the local planning authority.

Reason

The application is in outline form and details of these protection measures are required prior to the commencement of development in the interests of protecting trees in accordance with policies LC12 of the North Lincolnshire Local Plan and CS16 of the North Lincolnshire Core Strategy.

25.

The approved details as required by condition 24 shall be implemented as approved.

Reason

In the interests of protecting the existing trees on site and ensuring compliance with the agreed methods in accordance with policy LC12 of the North Lincolnshire Local Plan and CS16 of the North Lincolnshire Core Strategy.

26.

No development shall commence until details of a scheme for the disposal of foul and surface water demonstrating the principles of sustainable urban drainage (SUDS) have been submitted to and approved in writing by the local planning authority.

Reason

The application is in outline form and appropriate details are required prior to the commencement of works to ensure a satisfactory drainage scheme for surface water and foul drainage is agreed in accordance with policies DS14 of the North Lincolnshire Local Plan and CS19 of the North Lincolnshire Core Strategy.

### **Informative 1**

This application must be read in conjunction with the relevant Section 106 Agreement.

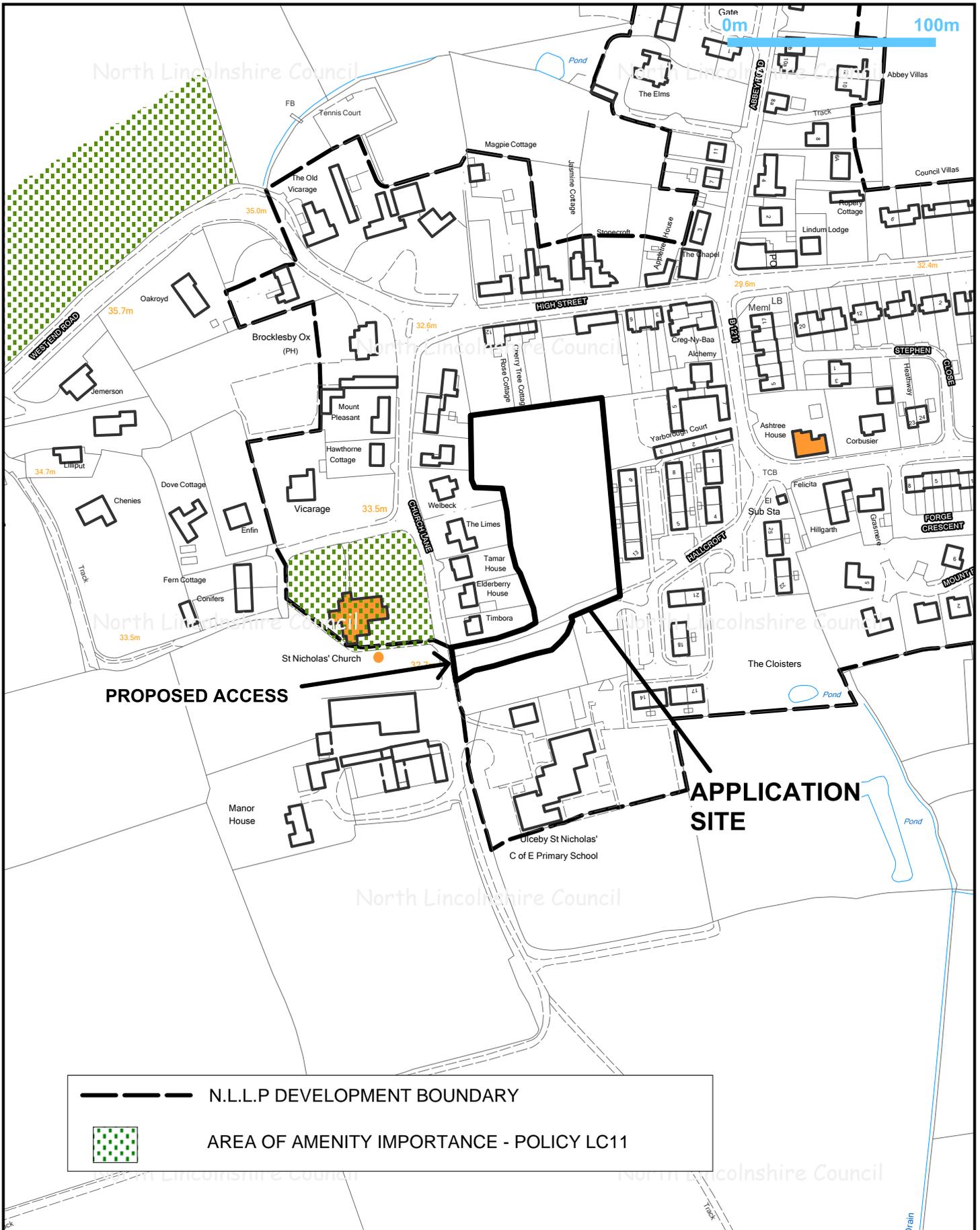
### **Informative 2**

The development hereby granted planning permission requires works to be carried out within the limits of the adopted (public) highway. Therefore:

- before ANY construction works take place within the limits of the highway you **MUST** contact the highway authority on telephone number 01724 297000 to arrange for the relevant permissions/licenses to be issued;
- before ANY service (utility) connections take place within the limits of the highway you **MUST** contact the highway authority on telephone number 01724 297319 to arrange for the relevant permissions/licenses to be issued.

### **Informative 3**

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraphs 186 and 187 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



Title: PA/2014/1311		
Drawn by: Sue Barden	Date: 19/05/2015	Scale 1:2500
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		Director of Places Peter Williams BSc,DMS,CEng,MEI,MCMI,AMIMechE



CHURCH LANE

PHASE 1

PHASE 2

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