

APPLICATION NO	PA/2015/1366
APPLICANT	Mr & Mrs Littlewood
DEVELOPMENT	Planning permission to erect a new dwelling
LOCATION	Land adjacent to Hillside Lodge, Brigg Road, Wrawby, DN20 8RQ
PARISH	Wrawby
WARD	Brigg and Wolds
CASE OFFICER	Ann Scott
SUMMARY RECOMMENDATION	Grant permission subject to conditions
REASONS FOR REFERENCE TO COMMITTEE	Objection by Wrawby Parish Council Significant public interest

POLICIES

National Planning Policy Framework: Paragraph 56 – Requiring good design and paragraph 9 in relation to pursuing sustainable development.

North Lincolnshire Local Plan: Policies ST2 (Settlement Hierarchy), ST3 (Development Limits), DS1 (General Requirements), DS2 (Planning Benefits), DS3 (Planning Out Crime), H1 (Housing Development Hierarchy) and H5 (New Housing Development).

North Lincolnshire Core Strategy: Policies CS1 (Spatial Strategy for North Lincolnshire), S2 (Delivering More Sustainable Development), CS3 (Development Limits) and CS5 (Delivering Quality Design in North Lincolnshire).

CONSULTATIONS

Highways: Comments received in respect of further information on the proposed access and how it will serve the existing and proposed dwelling.

Drainage Team: A sustainable method of drainage should be provided for this development. Further information on flood risk is requested as the site is susceptible to surface water flooding from run-off from the south and east.

Environment Team: Further information requested in relation to the potential for contamination on the site. The site is situated close to a quarry which has been infilled and it is the developers' responsibility to assess and address any potential for infill gas. Conditions suggested in relation to contamination and noise during construction.

Trees/Landscape: Recommend conditions requiring a tree protection plan and arboricultural method statement to be submitted to and approved in writing by the local planning authority. In addition, in relation to landscaping, the tree officer comments that

there are a number of trees/hedges on the site which are shown on the plans. A condition should be imposed to ensure the retention of the trees/hedges shown on the approved plans.

PARISH COUNCIL

Objects on the grounds that the design of the proposed building is out of keeping with the Victorian cottages on either side and out of scale with nearby housing close to the entrance to the village. The proposed dwelling will be overbearing to Hillside Lodge which is lower down the hill. In addition, concerns are expressed in relation to the parking and turning areas proposed via a shared access.

PUBLICITY

Neighbouring properties have been notified. Three letters of objection have been received from neighbouring properties with regard to access for vehicles and parking on the layby adjacent to their property during construction if the dwelling is built. In addition they do not wish to be overlooked by the proposed build.

Other objections from neighbours relate to the potential for overlooking to the adjacent dwellings, the dwelling not being in keeping with existing dwellings in the area, the height of the property and land levels are unclear, the size of the proposed garage at the front, use of hedges to screen the property and loss of views as a result of the dwelling.

ASSESSMENT

Planning policies

The relevant planning policies for consideration as part of this application are as follows: National Planning Policy Framework, paragraph 56 relating to good design, which is an integral part of sustainable development.

The North Lincolnshire Local Plan policies most related to this proposal are policies ST2 (Settlement Hierarchy), ST3 (Development Limits), DS1 (General Requirements), DS2 (Planning Benefits), DS3 (Planning Out Crime), H1 (Housing Development Hierarchy) and H5 (New Housing Development).

North Lincolnshire Core Strategy policies CS1 (Spatial Strategy for North Lincolnshire), CS2 (Delivering More Sustainable Development), CS3 (Development Limits) and CS5 (Delivering Quality Design in North Lincolnshire).

Proposal/site description

Full planning permission is sought for the erection of one house on land at the side of Hill Rise, Brigg Road, Wrawby. Off-road parking is proposed via a driveway to the side elevation of the property and an attached single-storey garage to the front with a gable facing Brigg Road. Amenity space is provided to the side and rear garden area.

The proposed design of the dwelling is considered to be largely in keeping with the existing character of the area in terms of siting, scale and design and accords with criteria in policies DS1 and H5 of the North Lincolnshire Local Plan.

Highway safety

There are concerns from the council's Highway Control Officer who has concerns about the access and how it will serve the existing and proposed dwelling. Additional information has been requested from the applicant but these issues could be dealt with by suitable planning conditions to ensure that there is sufficient parking and turning within the site for the existing and proposed dwelling as the proposed access is shared between the two dwellings.

Contamination/landfill gas

The Environmental Health officer wishes to see a contamination condition on the site as they consider that, because of its previous use as a garden, it has the potential to be contaminated. The site forms part of the garden to Hillside Lodge and it is considered that it is unlikely that any contamination would be found requiring a full contamination condition. However, in this instance a condition can be imposed to ensure that if any visually contaminated material is found it is dealt with appropriately. In addition the site is situated close to a former landfill site. A condition is therefore advised requiring a survey to be carried out to assess whether the site is affected by landfill gas due to the proximity of the former quarry which has been infilled.

Visual amenity/trees

The proposed dwelling will be laid out in a manner which will respect the character and appearance of the surrounding area. Amendments have been requested to change the garage at the front of the proposed dwelling which presently is a gable wall with a hipped roof fronting Brigg Road, whilst other properties have subordinate outbuildings fronting the highway in the area. The gable is considered to be an incongruous feature in the street scene in this part of Brigg Road as other properties tend to be more traditional and have hipped roofs with the gable facing away from the front of the site. The proposed dwelling and surrounding properties are evenly spaced and are similar in size to the existing dwellings situated on this part of Brigg Road. The external appearance and siting is reflective of the character of the locality. The council's tree officer suggests conditions in relation to the protection of the existing trees on the site.

Residential amenity

It is considered that the site can accommodate a dwelling, which is in keeping with the character and appearance of the area. The present layout does not adversely affect the amenity of surrounding properties and makes the best use of the site in terms of residential amenity. The proposal is considered to accord with the relevant criteria in policies CS1, CS2 and CS5 of the Core Strategy and policies DS1, H5 and H1 of the North Lincolnshire Local Plan.

Objections have been received from occupiers of surrounding properties on the grounds of overlooking, congestion and highway safety, and not being in keeping with the locality. It is considered that the proposed dwelling does not adversely affect the amenities of occupiers of surrounding properties and the separation distances are adequate with the spacing between properties being generous. Between the proposed dwelling and the adjacent properties there is a separation distance of approximately 14 metres either side to the adjacent property at Hillside Lodge and Ridge Cottage which is acceptable in planning policy and residential amenity terms.

There is a difference in levels from the front to the rear of the site by approximately 2 metres; the front of the site is higher and the land falls away to the rear of the site, being approximately 2 metres lower than the front. The elevation to the east adjacent to Ridge Cottage appears to be less dominant as it appears to be a one-and-a-half-storey building on that elevation due to the level of the land at this point. The ground-floor windows and the distance involved to the side of Ridge Cottage is approximately 14 metres. The first-floor windows are small rooflights and a smaller side window serving a first-floor bedroom which is not given the distance to the side of the adjacent property to overlook the adjacent property on this elevation to the detriment of their existing residential amenity. Also a ground-floor kitchen window and lower-level windows serve the basement, utility room, WC and cloak room. The west elevation has mainly ground-floor windows and two smaller windows at first floor with obscure glass and in the roof slope rooflights serving bedrooms in the roof space.

Some of the concerns raised by neighbours relate to overlooking to adjoining properties, an increase in parking in the vicinity of the site and possible highway safety issues, access and parking, and loss of views. The loss of a view is not a material planning consideration and the applicants' attention has been drawn to the concerns of neighbours in respect of overlooking. The applicants have agreed to submit amended plans to try and overcome these concerns. In particular they intend to omit the bedroom window on the east elevation and add confirmation notes to the plans to ensure that any glazing on that boundary is high level only to reduce the potential for overlooking of the adjacent dwelling on the eastern boundary. In addition, with regard to concerns raised over the size of the proposed garage at the front, the applicants will be submitting amended plans to reduce the size of the garage and its visual impact on the street scene to overcome these concerns. It is considered that conditions can be attached to ensure that the glazing, where shown, is obscure glazed or high-level windows to prevent the potential for overlooking and loss of the existing residential amenity to the locality.

The overall design of the building is considered to be acceptable in policy and residential amenity terms and accords with the criteria set out in policies DS1, H5 and H1 of the North Lincolnshire Local Plan.

Drainage

The proposed development should incorporate a full detailed drainage proposal as the drainage team has no objections to the proposal but recommends a sustainable drainage system for the proposed development, which is confirmed by the developer in the design and access statement. The site is situated in a zone 1 flood risk area at a lower risk of flooding and is normally unlikely to increase the risk of flooding subject to a sustainable method of drainage. However the council's drainage officer has asked for conditions in relation to surface water as the site does have the potential for run-off from the southern and eastern boundaries. Further information in respect of the above has been requested from the applicants' agent and a flood risk assessment will be submitted to ensure this matter is dealt with appropriately.

Landscaping

The council's tree officer has commented on the proposal and indicates that there are a number of trees which are proposed to be removed in order to facilitate the development. The proposed site plan indicates a number of trees to be retained, including a hedge. It is considered that in accordance with the tree officer's recommendation a condition should be

imposed in order to ensure that full details of soft landscape works are submitted and agreed which should include planting plans, written specifications of cultivation and operations and a schedule of plant species, size, siting and numbers etc. In order to help the proposed development integrate visually into the locality.

Conclusions

The proposal is considered to be acceptable in principle and complies with the relevant planning policies and national planning guidance, and does not have an adverse impact on the locality. Subject to the receipt of satisfactory amended plans to reduce the size of the garage, and to demonstrate the changes to the fenestration details in order to prevent overlooking to the neighbouring property on the eastern elevation, the application is recommended for approval subject to conditions.

RECOMMENDATION Grant permission subject to the following conditions:

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans: 1460 – 204B Amended Proposed elevations and 1460-203B Amended Proposed plans received on 22 January 2016.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

No development shall take place until details have been submitted to and approved in writing by the local planning authority of the make, type and colour of all external facing materials for the development and only the approved materials shall be used.

Reason

To ensure that the building is in keeping with its surroundings in the interests of visual amenity, in accordance with policy DS1 of the North Lincolnshire Local Plan.

4.

If, during development, any odorous, discoloured or otherwise visually contaminated material is found to be present at the site then no further development shall be carried out until a written method statement detailing how this contamination shall be dealt with has been submitted to and approved in writing by the local planning authority.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

5.

A comprehensive site survey by a competent person shall determine the existence, extent and concentrations of any landfill gas with the potential to reach the application site. The requirements of the local planning authority shall be fully established before the site survey is commenced. Two full copies of the survey, findings and conclusions shall be submitted to the local planning authority without delay upon completion.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

6.

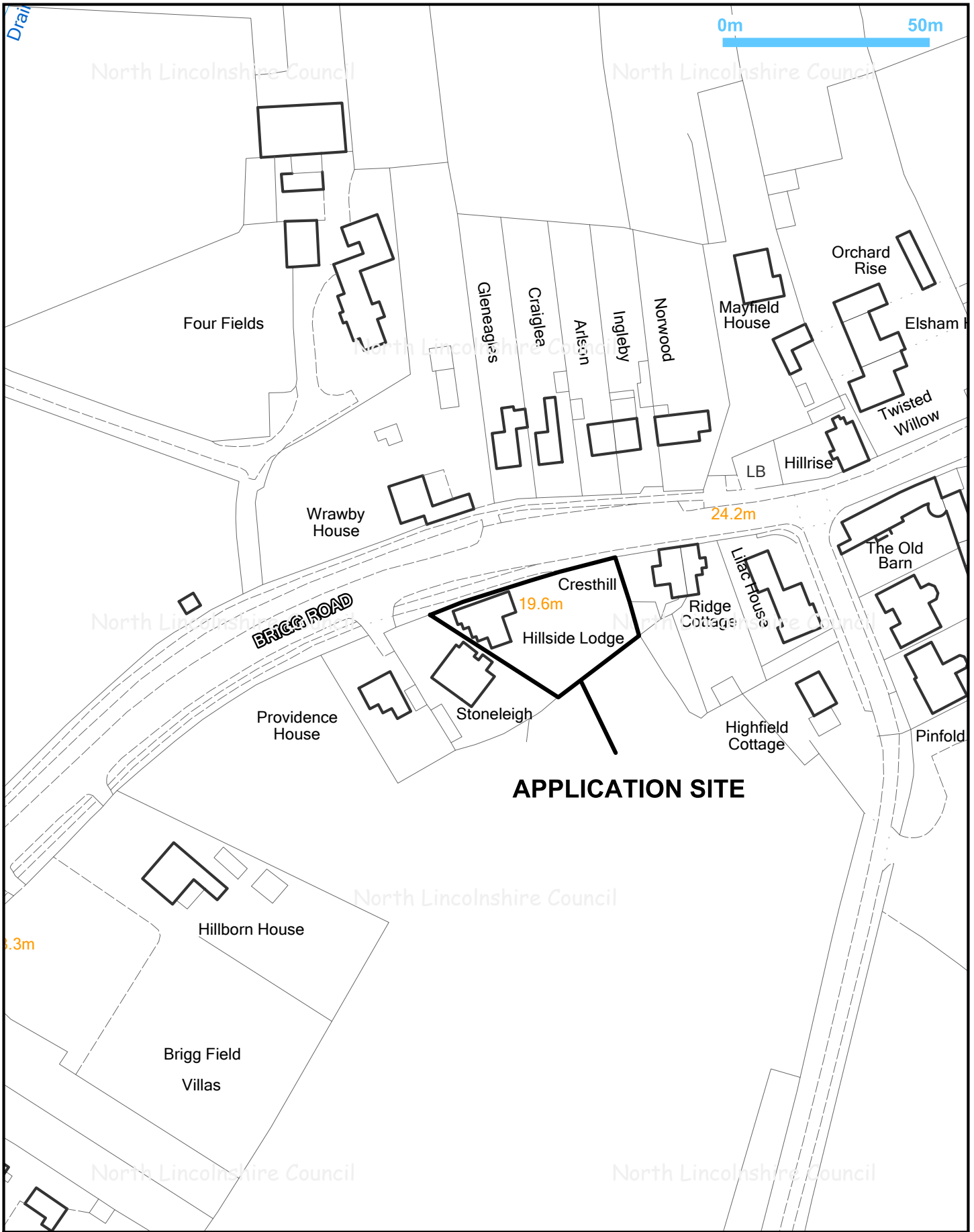
Notwithstanding the provisions of Classes A, B and C of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that order with or without modification), no extensions shall be carried out to the existing dwelling, or windows or dormers installed in the roof slope or walls, without the prior written approval of the local planning authority other than those expressly authorised by this permission.

Reason

To ensure that the existing residential amenities of adjacent properties are protected in accordance with policy DS1 of the North Lincolnshire Local Plan.

Informative

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraphs 186 and 187 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



Title: PA/2015/1366		
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PA/2015/1366 Proposed Layout Not to scale



PA/2015/1366 Proposed Elevations Not to scale



PROPOSED SOUTH ELEVATION / SITE SECTION
SCALE 1:100



PROPOSED EAST ELEVATION
SCALE 1:100

PROPOSED WEST ELEVATION
SCALE 1:100



PROPOSED NORTH ELEVATION / SITE SECTION (THROUGH ROAD)
SCALE 1:100



PROPOSED NORTH ELEVATION / SITE SECTION (THROUGH GARAGE)
SCALE 1:100