

APPLICATION NO	PA/2019/2025
APPLICANT	Mr George Wise, Brocklesby Estate
DEVELOPMENT	Planning permission to convert existing agricultural buildings to provide two dwellings; demolish existing agricultural buildings and associated structures; erect six dwellings to be provided as affordable housing; and erect one detached dwelling, alongside vehicular access provision from East End and Post Office Lane
LOCATION	Manor Farm, East End, Kirmington, DN39 6YS
PARISH	Kirmington
WARD	Ferry
CASE OFFICER	Tanya Coggon
SUMMARY RECOMMENDATION	Subject to a Section 106 agreement, grant permission subject to conditions
REASONS FOR REFERENCE TO COMMITTEE	Contrary to policy

POLICIES

National Planning Policy Framework:

Chapter 2 – Achieving sustainable development

Chapter 4 – Decision-making

Chapter 5 – Delivering a sufficient supply of homes

Chapter 9 – Promoting sustainable transport

Chapter 11 – Making effective use of land

Chapter 12 – Achieving well-designed places

Chapter 14 Meeting the challenge of climate change, flooding and coastal change

Chapter 15 – Conserving and enhancing the natural environment

Chapter 16 – conserving and enhancing the Historic Environment

North Lincolnshire Local Plan: Policies H5, H8, RD2, RD9, LC11, T2, T19, DS1, DS7, DS14 and DS16 apply.

North Lincolnshire Core Strategy: CS1, CS2, CS3, CS5, CS6, CS7, CS8, CS9, CS17, CS18, CS19 and CS22 apply.

CONSULTATIONS

Highways: No objections subject to conditions.

Drainage (Lead Local Flood Authority): No objection subject to conditions.

Environmental Protection: No objection subject to a contamination condition and restrictions on operating hours for construction and site clearance.

Historic Environment Record: These proposals affect an historic farmstead dating from the early-mid19th century recorded on the Historic Environment Record (HER) and the site is located in an area where archaeological remains of Roman date are anticipated. The applicant has submitted a Heritage Statement in accordance with paragraph 189 of the National Planning Policy Framework (NPPF). Because construction groundwork may destroy archaeological evidence, the statement proposes that a programme of archaeological monitoring and recording will be maintained during excavations to mitigate the harm. The HER has no objections regarding the proposals for the farm buildings but the planning authority should request the applicant submits a written scheme of investigation (WSI) for this archaeological mitigation prior to determination of this application. This procedure is in accordance with paragraphs 190 and 199 of the NPPF, and policies HE9 of the North Lincolnshire Local Plan and CS6 of the Core Strategy. Where the planning authority is minded to grant consent prior to the submission of a WSI, pre-commencement conditions would be required to secure the archaeological mitigation scheme.

Conservation: No objection subject to conditions in relation to materials.

Trees: Tree protection measures within the impact assessment and arboricultural method statements need to be followed and conditioned. Replacement planting through a good landscaping scheme for replacement trees and other green infrastructure should be requested and conditioned.

Ecology: The submitted protected species survey report has revealed evidence of roosting barn owls and nesting barn swallows. Pipistrelle and brown long-eared bats were found to be using the building numbered as building 3 for feeding and transient resting purposes. Planning conditions are proposed to minimise harm to protected and priority species and habitats, and to seek biodiversity enhancement in accordance with the National Planning Policy Framework.

PARISH COUNCIL

Supports the application and has no objections or concerns.

PUBLICITY

Advertised by site and press notice. One objection has been received raising the following issues:

- there have been planning permissions for houses next to/behind the primary school
- the school is at full capacity
- increase in traffic

- there is no pavement around the area
- the homes are affordable – will there be a clause ensuring the house type can't be changed?
- it only meets policy RD2
- will the electricity infrastructure support this development?

ASSESSMENT

The proposal

The proposal contains a number of elements: six affordable dwellings are proposed in the form of four semi-detached bungalows (plots 1, 2, 3 and 4) and one pair of semi-detached dwellings (plots 5 and 6). A new detached dwelling (plot 9) is proposed that will be sold on the open market as a self-build and some of the existing farm buildings (barns) on the site will be demolished, the remaining barns being converted to two residential properties (plots 7 and 8). Some small extensions are proposed to the barns to form car ports and additional accommodation. The barn conversions will also be sold on the open market for self-build. The existing access on East End will serve six of the plots, with a new access formed onto East End to serve plot 9. A new access will be formed onto Post Office Lane to serve plots 5 and 6. A parking and turning area will be provided within the site.

The site

The site comprises existing farm buildings and agricultural land. It is primarily a brownfield site. It is located outside, but adjacent to, the development boundary for Kirmington. Kirmington is defined as a rural settlement in the Core Strategy. In the 2019 Settlement Survey it is ranked 37th. Kirmington has some key services such as a school, church and public house, and is with 0.5 kilometres of Humberside Airport. It has bus routes to Humberside Airport, Barton and Brigg. There are a number of trees on the site protected by tree preservation orders and a full arboricultural report has been submitted with the application. One pine tree is in poor condition and will be felled, and some of the hedgerow will be removed to facilitate the proposed accesses. A small sliver of land to the north is located in part of an LC11 site. The site lies in Flood Zone 1 and is therefore at low risk of flooding. There was a previous approval on the site (PA/2012/1268) for the conversion of three of the barns to residential use, but this has expired.

The principle of the development

Turning first to the proposed affordable housing element of the proposal, there is a need for affordable housing in Kirmington. This has been demonstrated through a parish survey carried out by the housing association who is intending buy the land to build the proposed six affordable dwellings and then rent them at an affordable level to those unable to afford property on the open market. Priority for the affordable housing units will be given to existing residents of Kirmington, family members of existing village residents, and those living near Kirmington or with a clear connection to the village.

Policy CS9 of the North Lincolnshire Core Strategy is concerned with affordable housing. The policy is split into two parts: firstly, it relates to the percentage of affordable units that should be provided as part of any market dwelling led schemes; and secondly, it sets out

provisions for fully affordable schemes known as 'rural exception sites'. The policy states in relation to the latter:

Planning permission will be granted for the release of small rural exception sites within or adjacent to the development limits or within rural settlements for 100% affordable housing where a local need has been clearly identified. All proposals must be substantiated by evidence that the scale of development proposed meets the identified needs.

The site is located adjacent to the development boundary for Kirmington but the proposed scheme is not 100% affordable housing as three dwellings are proposed for market housing to make the remaining affordable housing proposed on the site financially viable. The proposal is technically contrary to part of policy CS9.

However, paragraph 77 of the NPPF (2019) is concerned with rural housing and states, 'In rural areas planning policies and decisions should be responsive to local circumstances and support housing developments that reflect local needs. Local planning authorities should support opportunities to bring forward rural exception sites that will provide affordable housing to meet identified local needs, and consider whether allowing some market housing on these sites would help to facilitate this.' As a result the proposal will comply with the NPPF providing that the market housing on the site is required to make the remainder of the affordable housing scheme viable. A viability assessment has been submitted with the application and is discussed in a later section of this report.

Policy RD2 of the North Lincolnshire Local Plan is concerned with development within the open countryside. The policy is twofold, the first part setting out in principle what types of developments are acceptable. In this instance paragraph 'iii' is relevant; it states, '...affordable housing to meet a proven local need' is considered as an acceptable form of development. The latter part of policy RD2 seeks to mitigate those development types that are considered acceptable and lists the following criteria:

- (a) the open countryside is the only appropriate location and development cannot reasonably be accommodated within defined development boundaries
- (b) the proposed development accords with the specific requirements set out in the relevant policies of this chapter and elsewhere in this local plan
- (c) the development would not be detrimental to the character or appearance of the open countryside or a nearby settlement in terms of siting, scale, massing, design and use of materials
- (d) the development would not be detrimental to residential amenity or highway safety
- (e) account is taken of whether the site is capable of being served by public transport
- (f) the development is sited to make the best use of existing and new landscaping.

The application does not explore alternative sites; however, given the scale of the scheme, with some units provided through the conversion of existing buildings on the site, the fact that the site is adjacent to the development boundary for Kirmington and is primarily a brownfield site, and given that there are no allocated sites for the development of an affordable housing scheme of this nature and size in Kirmington, the council considers that there are no alternative sites within the development boundary for Kirmington for this type of residential scheme.

In terms of criteria (e), the site is within 0.5 kilometres of Humberside Airport. Kirmington has bus routes to Humberside Airport, Barton and Brigg and therefore the site is capable of being served by public transport. In addition, the site is accessible to the central area of Kirmington by walking and cycling, although it is accepted that footways are limited in and around the site due to the narrow roads and verges.

In terms of criteria (a), (b) and (e), these are achieved. The criteria (c), (d) and (f) of policy RD2 will be discussed in other sections of this report.

In addition, at present the council cannot demonstrate a five-year land supply for the delivery of housing. There is a clear shortfall within the area of housing of all types. The principle of affordable housing development is therefore acceptable on this site. The applicant has submitted a planning statement which includes a section on affordable dwellings. The statement explains the tenure type and mix. The proposal is also a result of pre-application advice where the location and constraints related to it were underlined and not considered unacceptable.

The submission has therefore sufficiently evidenced the need for affordable housing in the area and the requirement for the specific tenure split that has been proposed through both pre-application discussion as well as the material contained within the planning statement. The proposal for a 6:3 split of affordable and market dwellings is, therefore, (subject to agreement with the viability information and the other sections of this report) considered to align with policies CS9 of the North Lincolnshire Local Plan and RD2 of the North Lincolnshire Core Strategy, as well as paragraph 77 of the NPPF, and is considered acceptable in principle.

In terms of the conversion of some of the farm buildings to two dwellings, this part of the proposal is assessed through a number of policies, including policies RD2 and RD9 of the North Lincolnshire Local Plan, which specifically relate to conversion of agricultural buildings. Policy CS6 of the Core Strategy is also relevant. The buildings are a traditional brick with timber-framed pitched roofs that are of historic merit and important to the rural scene. Part of these buildings will be demolished and replaced with purpose-built extensions designed to be in character with the existing agricultural buildings to provide suitable habitable accommodation and garaging in the form of attached car ports. A structural survey has been submitted with the application which indicates that most of the buildings are in reasonably sound structural condition but need some structural repairs. These would mostly be to the timber roof structures, the weathered brickwork and defective timber floors and lintels. The brickwork is predominantly stable and suitable for refurbishment but areas need repair and repointing works. The foundations may be shallow and this will need to be verified or foundations deepened during the conversion works. This element of the proposal therefore broadly aligns with policies RD2 and RD9 of the North Lincolnshire Local Plan and policies CS2, CS3, CS5, CS6, CS7 and CS8 of the Core Strategy.

Viability

In terms of viability a viability assessment has been carried out and submitted with the application. Paragraph 77 of the NPPF is concerned with rural exception sites and is quoted above. It allows for a proportion of market dwellings to support the delivery of the wider affordable housing. Paragraph 57 is concerned with viability and states:

'Where up-to-date policies have set out the contributions expected from development, planning applications that comply with them should be assumed to be viable. It is up to the applicant to demonstrate whether particular circumstances justify the need for a viability assessment at the application stage. The weight to be given to a viability assessment is a matter for the decision maker, having regard to all the circumstances in the case, including whether the plan and the viability evidence underpinning it is up to date, and any change in site circumstances since the plan was brought into force. All viability assessments, including any undertaken at the plan-making stage, should reflect the recommended approach in national planning guidance, including standardised inputs, and should be made publicly available.'

The viability report has been assessed by officers within the council. It is considered that the scheme to provide affordable housing (six dwellings) is only viable if the market housing is provided on the site. The market housing is considered to be enabling development. It must be noted that two of the market dwellings are provided through the conversion of existing farm buildings, which is already policy compliant under policies RD2 and RD9 of the North Lincolnshire Local Plan and policies CS2, CS3, CS7 and CS8 of the Core Strategy. The affordable housing will be secured by a planning obligation (S106).

Planning obligation (S106)

Policy CS27 is concerned with planning obligations and states that where a development proposal generates an identified need for additional infrastructure, North Lincolnshire Council will, through the negotiation of planning obligations pursuant to Section 106 of the Town & Country Planning Act 1990 and in accordance with guidance set out in Circular 05/2005, seek to ensure that the development proposal:

1. meets the reasonable cost of new infrastructure and improvements to existing infrastructure made necessary by the proposal in order to support, for example, affordable housing, maintenance payments, highway infrastructure, nature conservation, transport initiatives, utilities, education, community facilities, health, leisure and recreation provision, public art and waste management; and/or
2. mitigates the impact(s) of the development; and/or
3. offsets the loss of any significant amenity or resource through compensatory provision elsewhere; and/or
4. provides for the ongoing maintenance of facilities provided as a result of the development.

The tests for planning obligations are set out in Part 11, section 122 of the Community Infrastructure Levy Regulations 2010 (as amended). It states:

- (2) A planning obligation may only constitute a reason for granting planning permission for the development if the obligation is—
 - (a) necessary to make the development acceptable in planning terms;
 - (b) directly related to the development; and
 - (c) fairly and reasonably related in scale and kind to the development.

The legal test is also set out in planning policy under paragraph 56 of the National Planning Policy Framework 2018. The proposal is essentially for a rural exception site and complies with policy CS9 and policy RD2 as well as paragraph 77 of the NPPF. A Section 106 is required to ensure that the six affordable dwellings remain affordable in perpetuity.

Archaeology

Core Strategy policy CS6 Historic Environment states, 'The council will seek to protect, conserve and enhance North Lincolnshire's historic environment as well as the character and setting of areas of acknowledged importance, including historic buildings, conservation areas, listed buildings (both statutory and locally listed), registered parks and gardens, scheduled ancient monuments and archaeological remains...' and 'Development proposals should provide archaeological assessments where appropriate.'

Policy HE9 states, 'Where development proposals affect sites of known or suspected archaeological importance, an archaeological assessment to be submitted prior to the determination of a planning application will be required. Planning permission will not be granted without adequate assessment of the nature, extent and significance of the remains present and the degree to which the proposed development is likely to affect them.'

The applicant has submitted a heritage statement which informs that a programme of archaeological monitoring and recording will be maintained during excavations to mitigate the harm. It is considered that planning conditions can be used to ensure the submission and implementation of an archaeological mitigation strategy to ensure that archaeological evidence is preserved by means of a comprehensive record and creation of a permanent archive. The proposal would, therefore, subject to conditions, align with policy HE9 of the North Lincolnshire Local Plan and policy CS6 of the Core Strategy.

Design

The conversion of the redundant farm buildings is welcomed as they are of historic value and contribute to the character and local distinctiveness of the countryside and the settlement of Kirmington. The alterations and extensions have been designed to be in character with the existing buildings and therefore retain their rural character and appearance. The new dwellings are of modern build, but have been designed with traditional elements and are compatible with this location and adjacent buildings in this rural settlement. Planning conditions will be used to ensure that quality materials and details are used for the barn conversion and the new buildings, and that details of facing and roofing materials, and the windows and doors, are submitted for approval. The proposed scheme will be a visual improvement on the site than the existing. In design terms the proposal is considered to be acceptable and accords with the NPPF, policies RD2, RD9, H5 and H8 of the North Lincolnshire Local Plan and policies CS2, CS3, CS5, CS6, CS7 and CS8 of the Core Strategy.

Ecology

Policy CS17 of the Core Strategy, as well as paragraphs 9 and 118, relate to biodiversity. Paragraph 118 states in part that a net gain for biodiversity should be achieved. A bat survey and ecological report have been submitted with the application. There is evidence of nesting birds using the buildings and barn owls were using one farm building for roosting purposes only. Bats were found to be using farm building 3 for feeding and transient resting purposes. Farm building 3c has been used previously as a transient roost for single/small

numbers of pipistrelle bats and there is potential for buildings 3a, 3d and 5 to be used by hibernating bats. The council's ecologist has been consulted and recommends that planning conditions are used to minimise harm to protected and priority species and habitats, and for biodiversity gains. Subject to these conditions, the proposal will accord with policy CS17 of the Core Strategy and the NPPF.

Highways

Policy T2 of the North Lincolnshire Local Plan is concerned with access to development and states that all development should be served by a satisfactory access. Policy T19 of the local plan is concerned with parking provision, as well as general safety, and is also considered relevant. The council's Highways department has made an assessment of the scheme and has no objections subject to the imposition of conditions. The concerns made by the objector in terms of increase in highway traffic and lack of footways are noted. However, as Highways have raised no objections to the scheme it is not considered that the proposal will significantly increase traffic in the area or cause highway safety issues.

Drainage

Policy CS19 of the Core Strategy is concerned with flooding, whilst policy DS14 of the North Lincolnshire Local Plan is concerned with both surface water and foul drainage; both are relevant. The site is located within flood zone 1 in accordance with the North and North East Lincolnshire SFRA 2011 and is therefore at low risk of flooding. A flood risk assessment is not required for this development due to the size and number of dwellings proposed. The applicant has submitted an Outline Sustainable Drainage Strategy with the application. The LLFA has been consulted on the application and raise no objections subject to conditions requiring the submission of a detailed surface water drainage strategy and details of measures to prevent surface water run-off from hard paved areas within the site onto the highway. Subject to these conditions, the proposal will accord with policy CS19 of the Core Strategy and policy DS14 of the North Lincolnshire Local Plan.

Environmental issues

Policy DS7 of the North Lincolnshire Local Plan is concerned with contaminated land. It states that permission will only be granted on contaminated sites where a detailed site survey has been submitted, and a suitable scheme of remedial measures has been agreed to overcome any existing contamination. A desk top and phase 2 site investigation has been carried out by the applicant. Environmental Health have been consulted on the reports and recommend a condition in relation to contamination be imposed if planning permission is granted. This condition relates to the submission of a method statement if any contaminated material is found to be present on the site. Environmental Health also propose a condition restricting construction hours to safeguard residential amenity. This will also be imposed if planning permission is granted. The proposal therefore accords with policies DS1 and DS7 of the North Lincolnshire Local Plan.

Trees and landscaping

Policy LC12 of the North Lincolnshire Local Plan is concerned with the protection of trees, woodland and hedgerows. It states that proposals for all new development will, wherever possible, ensure the retention of trees, woodland and hedgerows. There are a number of trees on the site, including some covered by tree preservation orders (TPOs), which are located close to the south-western boundary. There are also hedgerows on the site. The

applicant has submitted an arboricultural report, as well as methodology and mitigation for protecting trees during construction. Some of lower quality and trees in poor condition, including a TPO'd tree (pine), are proposed to be removed. The council's tree officer has been consulted on the proposal and raises no objections subject to conditions that the protection measures within the impact assessment and arboricultural method statements are followed and replacement planting and other green infrastructure on the site is provided. These conditions will be imposed if planning permission is granted. The proposal is considered to accord with policy LC12 of the North Lincolnshire Local Plan.

Impact on the amenity of the locality

In terms of wider character, there will clearly be an impact upon the open countryside simply by the introduction of additional built form in this location. The impact, however, is mitigated by the well-designed scheme, complementary palette of materials, housing mix, the fact that the proposal abuts the settlement boundary and the more modern farm buildings will be removed to facilitate the development. Some of the existing farm buildings on the site will be retained and extended, retaining the rural character of the site. The scheme is well designed and, given its location close to the development boundary, would not carry unacceptable impacts that would detract from the countryside vernacular in this location. In terms of the LC11 site, this covers a significant area of Kirmington. Only a very small sliver of the site on the northern boundary is located within the LC11 area. This forms the garden to plot 7 and the driveways to plots 5 and 6. The open aspect of the LC11 will still be retained and the residential scheme, with additional landscaping, will improve the setting of the LC11 in this location. The social benefits derived from this proposal would outweigh any harm created to the visual amenity of the countryside and the LC11 site. The proposal accords with policies H5, RD2 and LC11 of the North Lincolnshire Local Plan and CS5 of the North Lincolnshire Core Strategy.

Impact on neighbours

The proposed dwellings are a significant distance from neighbours on the opposite side of the road. The scheme has been well designed to avoid overlooking/loss of privacy issues. It is therefore considered that the proposal would not impinge upon existing or future residential amenity rights to a level that would warrant refusal. The proposal accords with policies RD2 and H5 of the North Lincolnshire Local Plan and CS5 of the North Lincolnshire Core Strategy.

Other issues raised

The objector has raised the issue that the school is at full capacity. For a development of this size and nature, no educational contributions can be sought through a Section 106 agreement. There is no evidence to suggest that the school is at full capacity. There is also no evidence to suggest that the electricity infrastructure cannot support this development. Other planning applications for residential development in Kirmington have been approved, but this has no bearing on this application as each case must be determined on its planning merits. The affordable housing, as discussed in an earlier section of this report, will be obtained through a Section 106 agreement.

Heads of terms

Six affordable dwellings	Secured by the terms of the permission
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RECOMMENDATION

Subject to the completion of a formal agreement under Section 106 of the Town and Country Planning Act 1990 to secure the obligation set out in the 'Heads of Terms' above, the committee resolves:

- (i) it is mindful to grant permission for the development;**
- (ii) the decision be delegated to the Group Manager – Development Management and Building Control upon completion of the obligation;**
- (iii) if the obligation is not completed by 31 December 2020 the Group Manager – Development Management and Building Control be authorised to refuse the application on grounds of being contrary to policy as the site lies within the open countryside where new dwellings are not normally permitted and the development would create unnecessary encroachment into the open countryside;**
- (iv) the permission so granted be subject to the following conditions:**

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans: RD:4116-04B, RD 4116-06C, RD 4116-05B, RD 4116-08B, RD 4116-09B, RD 4116-010B, RD 4116-11B, RD 4116-07C, RD 4116-13 and RD 4116-12D.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

No loose material shall be placed on any driveway or parking area within 10 metres of the adopted highway unless measures are taken in accordance with details to be submitted to and approved in writing by the local planning authority to prevent the material from spilling onto the highway. Once agreed and implemented these measures shall be retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

4.

No dwelling on the site shall be occupied until the vehicular access to it and the vehicle parking and turning space serving it have been completed and, once provided, the vehicle parking and manoeuvring space shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

5.

No dwelling served by the private driveway shall be occupied until it has been constructed in accordance with details including:

- the method of forming access from the highway, including the required visibility splays;
- the method of constructing/paving the drive;
- the provision of adequate drainage features;
- the provision of suitable bin collection facilities adjacent to the highway;
- the provision of suitable lighting arrangements; and
- the provision of street name plates that shall include the words 'Private Drive';

which have been agreed in writing by the local planning authority. Once constructed, the private driveway shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

6.

No development shall take place until a detailed surface water drainage scheme for the site has been submitted to and approved in writing by the local planning authority. The scheme shall be based on sustainable drainage principles and an assessment of the hydrological and hydro-geological context of the development. This must be based upon the submitted Outline Sustainable Drainage Strategy, submitted by Roy Loble, ref: RLC/0505/OSDS01, dated 23/01/2020. The drainage scheme shall demonstrate that surface water run-off generated up to and including the 1 in 100 year critical storm (including an allowance for climate change) will not exceed the run-off from the existing site. It shall also include details of how the resulting completed scheme is to be maintained and managed for the lifetime of the development so that flood risk, both on and off the site, is not increased. SuDS must be considered. Reference should be made to North Lincolnshire Council's SuDS and Flood Risk Guidance Document. Should infiltration not be feasible at the site, alternative sustainable drainage should be used, focusing on above ground solutions.

Reason

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation and future maintenance of the sustainable drainage structures in accordance with policy DS16 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraphs 155, 157, 163 and 165 of the National Planning Policy Framework.

7.

The drainage scheme shall be implemented in accordance with the approved submitted details required by condition 6 above, shall be completed prior to the occupation of any dwelling on site, and thereafter retained and maintained in accordance with the scheme for the life of the development unless otherwise agreed in writing with the local planning authority.

Reason

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation and future maintenance of the sustainable drainage structures in accordance with policy DS16 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraphs 155, 157, 163 and 165 of the National Planning Policy Framework.

8.

No development shall take place until details showing an effective method of preventing surface water run-off from hard paved areas within the site onto the highway have been approved in writing by the local planning authority. These facilities shall be implemented prior to the access and parking facilities being brought into use and thereafter so retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraph 163 of the National Planning Policy Framework.

9.

No development shall take place until details showing an effective method of preventing surface water run-off from the highway onto the developed site have been submitted to and approved in writing by the local planning authority. These facilities shall be implemented prior to the access and parking facilities being brought into use and thereafter so retained.

Reason

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation and future maintenance of the sustainable drainage structures in accordance with policy DS16 of the North Lincolnshire Local Plan, and policies CS18 and CS19 of the North Lincolnshire Core Strategy.

10.

If, during development, any odorous, discoloured or otherwise visually contaminated material is found to be present at the site then no further development shall be carried out until a written method statement detailing how this contamination shall be dealt with has been submitted to and approved in writing by the local planning authority.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

11.

Construction and site clearance operations shall be limited to the following days and hours:

- 8am to 6pm Monday to Friday

- 8am to 1pm on Saturdays.

No construction, demolition or site clearance operations shall take place on Sundays or public/bank holidays.

HGV movements shall not be permitted outside these hours during the construction phase without prior written approval from the local planning authority.

Reason

To safeguard residential amenity in accordance with policy DS1 of the North Lincolnshire Local Plan.

12.

No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of an archaeological mitigation strategy, to be defined in a written scheme of investigation that has been submitted to, and approved in writing by, the local planning authority. The strategy shall accord with a brief provided by North Lincolnshire Historic Environment Record and shall include details of the following:

- (i) measures to ensure the preservation by record of archaeological features of identified importance
- (ii) methodologies for the recording and recovery of archaeological remains, including artefacts and ecofacts
- (iii) post-fieldwork methodologies for assessment and analyses
- (iv) report content and arrangements for dissemination, and publication proposals
- (v) archive preparation and deposition with recognised repositories
- (vi) a timetable of works in relation to the proposed development, including sufficient notification and allowance of time to ensure that the site work is undertaken and completed in accordance with the strategy
- (vii) monitoring arrangements, including the notification in writing to the North Lincolnshire Historic Environment Record of the commencement of archaeological works and the opportunity to monitor such works
- (viii) a list of all staff involved in the implementation of the strategy, including sub-contractors and specialists, their responsibilities and qualifications.

Reason

To comply with paragraph 199 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policy HE9 of the North Lincolnshire Local Plan because the site potentially contains archaeologically significant remains that the development would

otherwise destroy. The archaeological mitigation strategy is required in order to preserve archaeological evidence by means of a comprehensive record and creation of a permanent archive, to advance public understanding. The archaeological mitigation strategy must be prepared and approved for implementation prior to the commencement of any groundwork within the application site that would otherwise result in destruction without record.

13.

The applicant shall notify the local planning authority in writing of the intention to commence the archaeological site works at least one week/seven days before commencement. Thereafter, the archaeological mitigation strategy shall be carried out in accordance with the approved details and timings.

Reason

To comply with paragraph 199 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policy HE9 of the North Lincolnshire Local Plan because the site potentially contain archaeologically significant remains that the development would otherwise destroy.

14.

A copy of any analysis, reporting, publication or archiving required as part of the mitigation strategy shall be deposited at the North Lincolnshire Historic Environment Record within six months of the date of completion of the development hereby approved by this permission or such other period as may be agreed in writing by the local planning authority.

Reason

To comply with paragraph 199 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policy HE9 of the North Lincolnshire Local Plan because the site potentially contains archaeologically significant remains that the development would otherwise destroy.

15.

Works shall be carried out strictly in accordance with the submitted Ecology and Protected Species Survey Report, dated June 2018, and Bat Survey Report, dated July 2018. The recommendations set out in sections 5.1.2, 5.2.2, 5.4.2 and 5.4.3 of the Ecology and Protected Species Survey Report and section 5.2 of the Bat Survey Report shall be carried out in their entirety in accordance with the timescales set out. Prior to the occupation of the seventh dwelling, the applicant or their successor in title shall submit a report to the local planning authority, providing evidence of compliance with the recommendations. All biodiversity features shall be retained thereafter.

Reason

To conserve biodiversity in accordance with saved policy LC5 of the North Lincolnshire Local Plan and policy CS17 of the Core Strategy.

16.

Within three months of the commencement of development, the applicant or their successor in title shall submit a biodiversity management plan to the local planning authority for approval in writing. The plan shall include:

- (a) details of at least four bat roosting features to be installed on new buildings and at least two bat boxes to be installed in retained trees;

- (b) details of nesting sites to be installed to support barn swallow, barn owl and other bird species;
- (c) restrictions on lighting to avoid impacts on bat roosts, bat foraging areas, bird nesting sites and sensitive habitats;
- (d) provision for hedgehogs to pass through any fencing installed between gardens and between areas of grassland;
- (e) prescriptions for the retention, planting and aftercare of native trees, shrubs and hedgerows of high biodiversity value; and
- (f) proposed timings for the above works in relation to the completion of the buildings.

Reason

To conserve and enhance biodiversity in accordance with policies CS5 and CS17 of the North Lincolnshire Core Strategy.

17.

The biodiversity management plan shall be carried out in accordance with the approved details and timings, and the approved features shall be retained thereafter, unless otherwise approved in writing by the local planning authority. Prior to the occupation of the seventh dwelling, the applicant or their successor in title shall submit a report to the local planning authority, providing evidence of compliance with the biodiversity management plan.

Reason

To conserve and enhance biodiversity in accordance with policies CS5 and CS17 of the North Lincolnshire Core Strategy.

18.

No development shall take place until details of the external facing materials to be used have been submitted to and approved in writing by the local planning authority and only the approved materials shall be used.

Reason

To ensure that the buildings are in keeping with their surroundings in the interests of visual amenity, in accordance with policies RD2 and DS1 of the North Lincolnshire Local Plan.

19.

Before any above-ground works take place on the site, joinery details of all the new windows and doors, with colour specification detail, shall be submitted to and approved in writing by the local planning authority. Thereafter only the approved scheme shall be implemented on the site.

Reason

To ensure that the buildings are in keeping with their surroundings in the interests of visual amenity, in accordance with policies RD2 and DS1 of the North Lincolnshire Local Plan.

20.

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that order with or without modification), no extensions, alterations or buildings shall be erected on the site/installed in the buildings for plots 7 and 8 (the barn conversions) other than those expressly authorised by this permission.

Reason

To safeguard the character and appearance of the barn conversions in accordance with policies RD2 and RD9 of the North Lincolnshire Local Plan.

21.

No development shall take place until proposals for landscaping, including details of replacement trees and green infrastructure, have been submitted to and approved in writing by the local planning authority. The proposals shall include indications of all existing trees and hedgerows on the site, and details of those to be retained.

Reason

To enhance the appearance of the development in the interests of amenity in accordance with policies DS1 and RD2 of the North Lincolnshire Local Plan.

22.

All the approved landscaping shall be carried out within twelve months of development being commenced (unless a longer period is agreed in writing by the local planning authority). Any trees or plants which die, are removed or become seriously damaged or diseased within five years from the date of planting shall be replaced in the next planting season with others of similar size and species to those originally required to be planted, unless the local planning authority agrees in writing to any variation.

Reason

To safeguard the amenity of the locality in accordance with policies DS1 and RD2 of the North Lincolnshire Local Plan.

23.

The development shall be carried out in accordance with the tree protection measures specified in the submitted Arboricultural Method Statement dated 4 November 2019, Arboricultural Impact Assessment dated 4 November 2019 and Arboricultural Report dated 1 November 2019.

Reason

To safeguard the trees and hedgerows on the site in accordance with policy LC12 of the North Lincolnshire Local Plan.

24.

No dwelling on the site shall be occupied until details of the positions, design, materials and type of boundary treatment to be built/planted have been agreed in writing by the local planning authority. The agreed boundary treatment shall be built/planted before the dwellings are occupied and once built/planted it shall be retained.

Reason

To provide an appropriate level of screening in accordance with policies H8 and DS1 of the North Lincolnshire Local Plan.

Informative 1

This application must be read in conjunction with the relevant Section 106 Agreement.

Informative 2

Records indicate that the proposed development site is bounded by a watercourse on the northern boundary (surface water pipe/culvert or ditch). Following inspection, the watercourse may need to be cleared, replaced, protected or diverted by the landowner at their expense in accordance with their riparian responsibilities. An easement adjacent to the watercourse may need to be provided for future maintenance. Any other drainage feature found during excavations must be immediately reported to the LLFA Drainage Team on 01724 297522, prior to any further construction works being carried out.

The applicant is advised by the LLFA to refer to the Environment Agency's 'Living on the edge - Riverside ownership rights and responsibilities' document which can be found online for further information. Compliance with this guidance is to ensure the free flow of surface water is maintained throughout the development.

Any alterations and/or connections into the watercourse must be consented by North Lincolnshire Council's LLFA Drainage Team, in their capacity as Lead Local Flood Authority, and/or the local Internal Drainage Board through an Ordinary Watercourse Consent, and appropriate discharge rates must be agreed. Please contact the LLFA Drainage team on 01724 297522 or by email to llfadrainageteam@northlincs.gov.uk for further details. Compliance with this guidance is to ensure the free flow of surface water is maintained throughout the development.

Informative 3

The development hereby granted planning permission requires works to be carried out within the limits of the adopted (public) highway. Therefore:

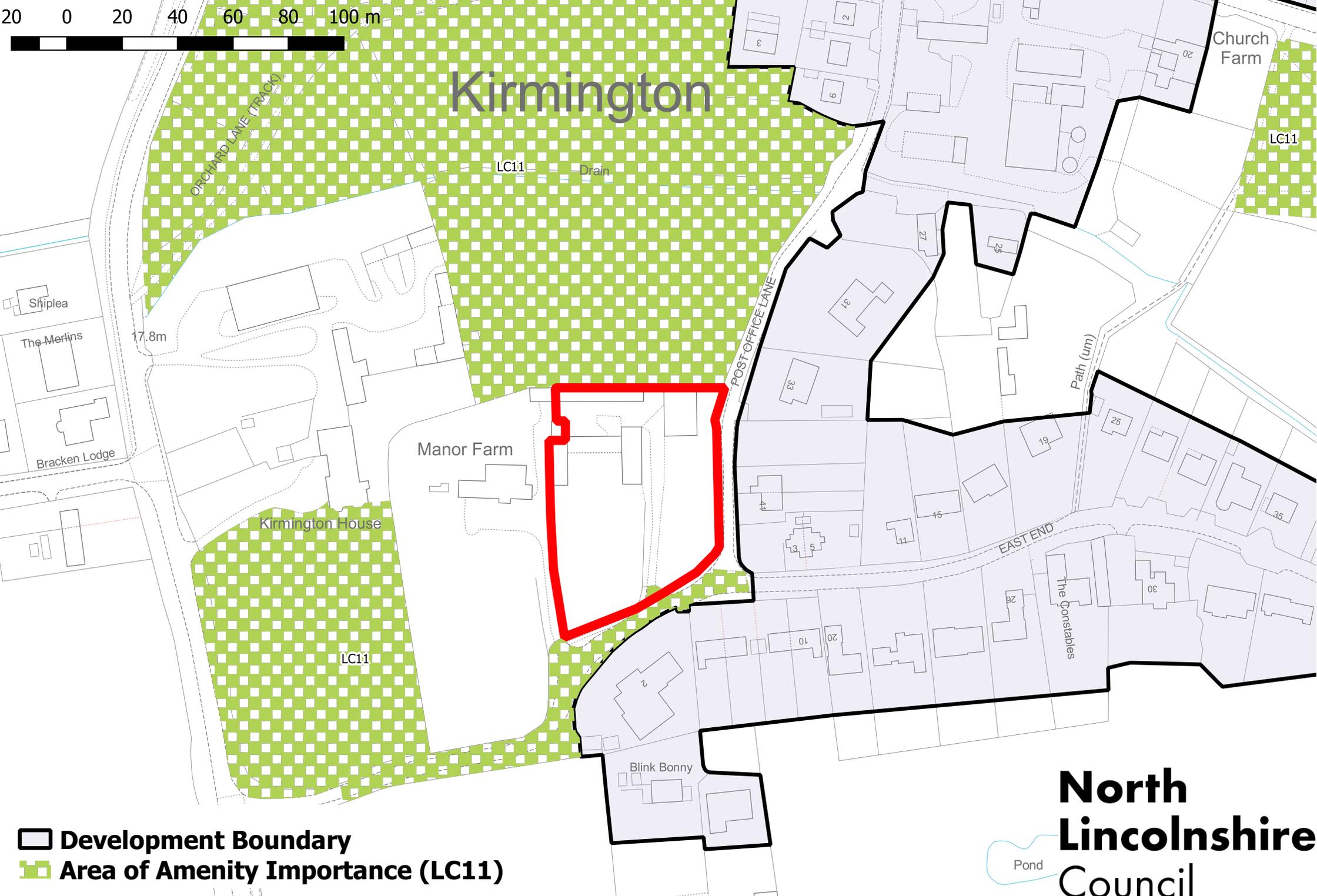
- before ANY construction works take place within the limits of the highway you **MUST** contact the highway authority on telephone number 01724 297000 to arrange for the relevant permissions/licenses to be issued;
- before ANY service (utility) connections take place within the limits of the highway you **MUST** contact the highway authority on telephone number 01724 297319 to arrange for the relevant permissions/licenses to be issued.

Informative 4

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



Kirmington



- Development Boundary
- Area of Amenity Importance (LC11)

PA/2019/2025 Block plan (not to scale)



Scale Bar

0mm 25mm 50mm 75mm

Notes

- Drawing copyright of Ross Davy Associates
- Used figured dimensions only, do not scale from this drawing
- All materials specified are to be used in strict accordance with manufacturers written instructions and current codes of practice.
- Should the project fall under the scope of the Equality Act, Party Wall Act or the CDM Regulations, it is the Employer's responsibility to initiate the following:
 - Disabled Access Audit
 - Party Wall Notices and Surveys (if required)
 - Pre-Construction Health and Safety Plan
- These drawings are to be considered as Preliminary and for information only until technical approval has been obtained from the relevant Local Authority/Approved Consultant. Commencement of work on site prior to these approvals is at the Clients/Contractors risk.

Inspections and Surveys

Where elements of the construction are not visible during the survey, it is the contractors responsibility to identify structural elements such as floor joist spans and supporting structures, prior to any demolition works and inform client / architectural consultant. Additional works may therefore be necessary. Our survey does not include any destructive investigation.

- Drawing Revisions**
- A 30-05-19 - Scheme revised, parking amended plots 1&2, 5&6 swapped
 - B 23-10-19 - Plot 1 relocated, tree RPA's added and Plot 7 boundary treatment amended
 - C 29-10-19 - Plot 1 relocated, tree RPA's amended
 - D 05-11-19 - trees revised to match survey



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Project	Proposed Development at Manor Farm, East End, Kirmington		
Drawing Title	Proposed Site Plan		
Drawn	MD	Scale	As Noted
Date	April 19	Size	A2
Drawing No.	RD:4116 - 12		D

APPROVAL