

APPLICATION NO PA/2020/1311

APPLICANT Mr Garry Hirst, Delta Salvage Ltd

DEVELOPMENT Planning permission to erect an insulated steel-framed structure for storage and distribution (B8 use class), including associated hard-standing

LOCATION Sandtoft Gateway, Sandtoft Road, Westgate, Belton, DN9 1FA

PARISH Belton

WARD Axholme Central

CASE OFFICER Kevin Robinson

SUMMARY RECOMMENDATION **Grant permission subject to conditions**

REASONS FOR REFERENCE TO COMMITTEE Departure from the development plan

POLICIES

National Planning Policy Framework:

Paragraph 47 – Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. Decisions on applications should be made as quickly as possible, and within statutory timescales unless a longer period has been agreed by the applicant in writing.

Paragraph 80 – Planning policies and decisions should help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development. The approach taken should allow each area to build on its strengths, counter any weaknesses and address the challenges of the future. This is particularly important where Britain can be a global leader in driving innovation, and in areas with high levels of productivity, which should be able to capitalise on their performance and potential.

North Lincolnshire Local Plan:

DS1 (General Requirements)

DS16 (Flood Risk)

RD2 (Development in the Open Countryside)

T1 (Location of Development)

T2 (Access to Development)

North Lincolnshire Core Strategy:

CS1 (Spatial Strategy for North Lincolnshire)

CS2 (Delivering More Sustainable Development)

CS3 (Development Limits)

CS5 (Delivering Quality Design in North Lincolnshire)

CS11 (Provision and Distribution of Employment Land)

CS16 (North Lincolnshire's Landscape, Greenspace and Waterscape)

CS17 (Biodiversity)

CS19 (Flood Risk)

Housing and Employment Land Allocations DPD: Employment land allocation Sandtoft Business Park, a 55.3 hectare site identified under policy SANE-1 for B1 and B8 uses as a logistics park.

CONSULTATIONS

Highways: No comments or objections.

Drainage (Lead Local Flood Authority): No objections raised. Conditions are recommended in respect of surface water drainage of the site.

PARISH COUNCIL

No response received.

PUBLICITY

The application has been advertised by means of a site notice adjacent to the access to the site. No comments have been received.

ASSESSMENT

The application site is off Sandtoft Road, between Belton and Sandtoft and to the rear of existing building associated with Delta Salvage. The site is bounded by the applicant's existing salvage yard (Delta Salvage) to the east and south, and by former runways to the north and west. In the wider context the site is surrounded by car storage and breaking facilities to the north, east and west and there is an operational airfield (Sandtoft Airfield) and roof tile manufacturing business to the south, beyond Sandtoft Road. Therefore, whilst the site lies outside of any defined development boundary and as such is located in the open countryside for the purpose of planning, the surrounding area is predominantly industrial in nature. The site is located within flood zone 2/3a of the Strategic Flood Risk Assessment for North Lincolnshire.

Planning history

PA/2020/1458: Planning permission to erect a brick structure for the purpose of storage and distribution (B8 use class).

This application is still being considered.

PA/2020/386: Planning permission to erect a steel-framed building for storage and distribution – approved.

This building is currently under construction and is situated approximately 11.6 metres to the south of this current proposal.

PA/2019/390: Planning permission to erect an industrial brick building (B8 use class) and associated hard-standing – approved.

PA/2017/1336: Planning permission to erect a steel-framed building for B8 use, including associated hard-standing to the entrance of the proposed structure – approved.

PA/2016/1578: Planning permission to erect an insulated steel-framed building, including associated hard standing – approved.

Principle

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise. In this instance the development plan consists of the North Lincolnshire Local Plan (NLLP) which was adopted in May 2003, the North Lincolnshire Core Strategy (NLCS) which was adopted in June 2011 and the Housing and Employment Land Allocations Development Plan Document (HELA DPD) adopted in March 2016. Material considerations exist in the form of national planning policy and guidance contained within the National Planning Policy Framework (NPPF) and the suite of documents comprising Planning Practice Guidance (PPG).

The application site is outside any defined development limits within the HELA DPD and as such is considered to be in the open countryside for the purpose of planning. Policy RD2 of the NLLP sets out the council's approach to proposals for development in the open countryside. The policy states that land within the open countryside will be strictly controlled and only development which is appropriate to the open countryside will be permitted. Policy CS3 of the North Lincolnshire Core Strategy is a similar policy which seeks to restrict development outside development boundaries to that which is essential for the functioning of the countryside.

Whilst the site is located outside of any defined development boundary, it should be noted that it is surrounded by existing industrial and commercial development. Therefore the character of the area is industrial in nature and not rural as would normally be expected in the open countryside. The proposed development effectively comprises the erection of a building within a cluster of similar buildings, all within the wider industrial landscape. This proposal also has to be considered with regard to the wider policy context of the area which is promoted under allocation SANE-1 of the HELA DPD for large-scale industrial development. The application site is located a short distance outside of the SANE-1 allocation, but is within an established industrial area adjacent to it and is surrounded by

existing and proposed (allocated) industrial land. Therefore, whilst the site is located in the open countryside as defined by planning policy, the proposed industrial development is considered to be acceptable in this location due to the industrial nature of the area.

It should also be noted that, in addition to the previous extensions of the adjacent Delta Salvage site (see planning history), other extensions of industrial sites outside development limits have been approved in this location in recent years. In these instances significant weight was given to the fact that the development would support the expansion of existing businesses and safeguard jobs. Similarly, the proposed development would support the expansion of the existing business to the benefit of the local economy. This is in line with guidance contained within section 3 of the NPPF which seeks to promote economic growth in rural areas.

On balance, despite the fact that the application site lies outside of any established development limit and the development is therefore contrary to local planning policy which seeks to restrict development in the open countryside, the economic benefit of the development would outweigh any conflict with policy, particularly given the fact that there would be limited impact on the character and appearance of the open countryside in this instance. It is therefore considered that the proposal would align with paragraph 47 of the NPPF in that there are material considerations that would indicate a departure from the plan is appropriate in this instance.

Amenity

There are no residential properties immediately adjacent to the application site: the nearest dwellings are some distance to the east, separated from the site by adjacent industrial premises. On this basis there is limited potential for the development to adversely affect the amenity of neighbouring properties. The council's Environmental Health department has raised no concerns or objections to the proposal. Given the distance to neighbouring residential properties, the presence of existing industrial development between the site and these properties, and the lack of objection from the council's Environmental Health officers, it is considered that the proposed would have no unacceptable impact on residential amenity.

Highways

As outlined above, there is an existing access immediately adjacent to the application site, which serves the Delta Salvage site. This has been designed as a commercial access to serve an industrial business and will provide direct access to the proposed development. The access provides good visibility when entering and leaving the site and as part of the proposal a large off-street parking and turning area would be provided. The council's Highways department has been consulted on the application and has raised no concerns or objections. On this basis it is considered that the access arrangements are acceptable and the proposal would not be harmful to highway safety.

Flooding and drainage

The site is located within flood zone 2/3(a) of the North Lincolnshire Strategic Flood Risk Assessment. The proposal is for general industry in a high flood risk zone; this constitutes a 'less vulnerable' use. Applying the Flood Zone and Flood Risk Table in the National Planning Practice Guidance, the proposed (less vulnerable) development is considered to be appropriate in this location. Notwithstanding this, a detailed Flood Risk Assessment

(FRA) has been submitted in support of the application along with a drainage strategy. The Environment Agency (EA) has been consulted on the application and has not responded to date. Notwithstanding this, the proposal seeks further commercial development within an existing site.

However, the council's drainage team has been consulted and has no objections subject to the imposition of conditions. The drainage team states, '...Although the proposed drainage scheme for this development would seem compliant, we have some concerns about the existing drainage systems, connections and overall discharge rate into the downstream network and its connectivity to/from this development. The applicant proposes to discharge into an existing watercourse with a run-off rate of 5 litres/second; the council's drainage team appears to have no issue with this and has looped the drainage strategy into the wording of the condition. Whilst the drainage team may raise valid points in relation to the existing drainage on site, it is outside the remit of planning to mitigate something unrelated to what is applied for. The conditions are considered to fail the test of being related to the development and the test of reasonableness in this instance. Furthermore, watercourse consent would be required, as well as mitigation at building regulations stage.

Land contamination

The council's Environmental Protection Officer has not responded to the consultation. However, in line with the recent approval approximately 11.6 metres to the south, it is considered that any unforeseen contamination can be suitably addressed through a condition. The condition would require the developer to cease work and report any unforeseen contamination found during construction. This condition will be attached to any permission, given the industrial processes/uses that are abundant in the area.

Conclusion

Whilst the application site is located outside of any defined development boundary, and industrial development is not normally acceptable in such locations, the site is adjacent to an existing industrial business and is otherwise surrounded by industrial development. The proposed development would directly support the expansion of a local business, securing employment and thereby benefiting the local economy, which is strongly supported by the NPPF. Furthermore, it has been demonstrated that the development would not have an adverse impact on the existing highway network or the amenity of residential properties, and poses no unacceptable risk of flooding. For these reasons it is considered that the proposed development is acceptable and that this application should be supported subject to conditions.

Pre-commencement condition

The pre-commencement condition included within the recommendation has been agreed with the applicant.

RECOMMENDATION Grant permission subject to the following conditions:

1. The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans: drawing reference ESD0800_LP Final - Location Plan; un-referenced drawing - Proposed East and West Elevations; un-referenced drawing - Proposed North and South Elevations; un-referenced drawing - Proposed Ground Floor Plan.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

No development shall take place until a detailed surface water drainage scheme for the site and adjacent development (PA/2020/386) has been submitted to and approved in writing by the local planning authority. The scheme shall be based on sustainable drainage principles and an assessment of the hydrological and hydro-geological context of the development. Surface water discharge from the site must be restricted to greenfield run-off rate or as agreed with the Internal Drainage Board.

Reason

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation, and future adoption and maintenance, of the sustainable drainage structures in accordance with policy DS16 of the North Lincolnshire Local Plan, and policies CS18 and CS19 of the North Lincolnshire Core Strategy.

4.

The drainage scheme shall be implemented in accordance with the approved submitted details required by condition 3 above, completed prior to the occupation of any building within each phase or sub-phase of the development on site, and thereafter retained and maintained in accordance with the scheme for the life of the development unless otherwise agreed in writing with the local planning authority.

Reason

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation, and future adoption and maintenance, of the sustainable drainage structures in accordance with policy DS16 of the North Lincolnshire Local Plan, and policies CS18 and CS19 of the North Lincolnshire Core Strategy.

5.

If, during development, any odorous, discoloured or otherwise visually contaminated material is found to be present at the site then no further development shall be carried out until a written method statement detailing how this contamination shall be dealt with has been submitted to and approved in writing by the local planning authority.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

6.

The external materials shall be made up of those described within section 7 of the planning application form unless otherwise agreed in writing with the local planning authority.

Reason

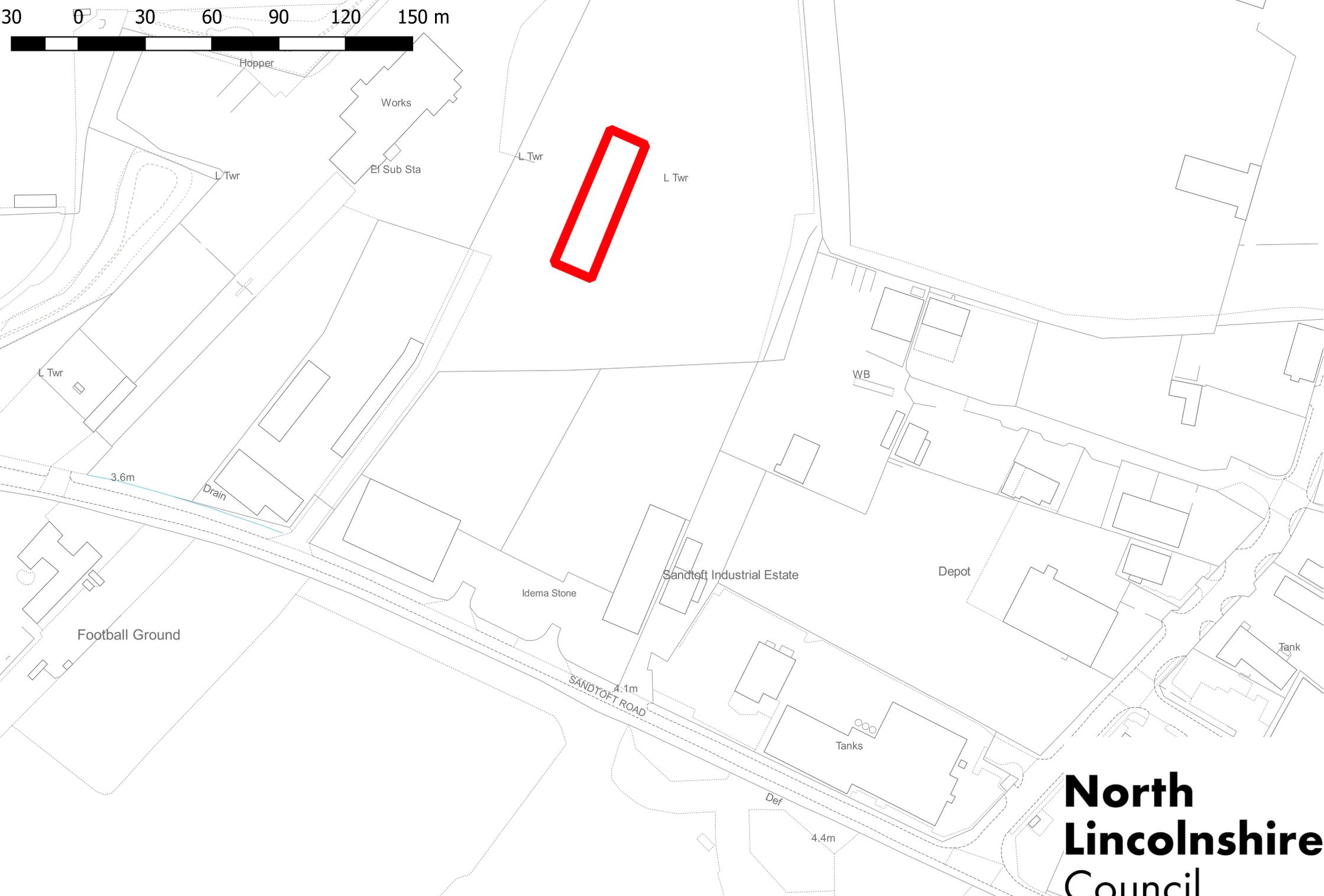
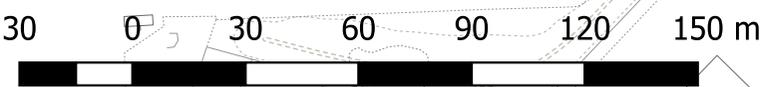
In the interest of visual amenity and to accord with policy CS5 of the Core Strategy.

Informative 1

The proposals indicate a new connection into the downstream network. This must be consented by the local Internal Drainage Board through an Ordinary Watercourse Consent. Please contact the LLFA Drainage team on 01724 297522 or by email to llfadrainageteam@northlincs.gov.uk for further details. Compliance with this guidance is to ensure the free flow of surface water is maintained throughout the development.

Informative 2

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

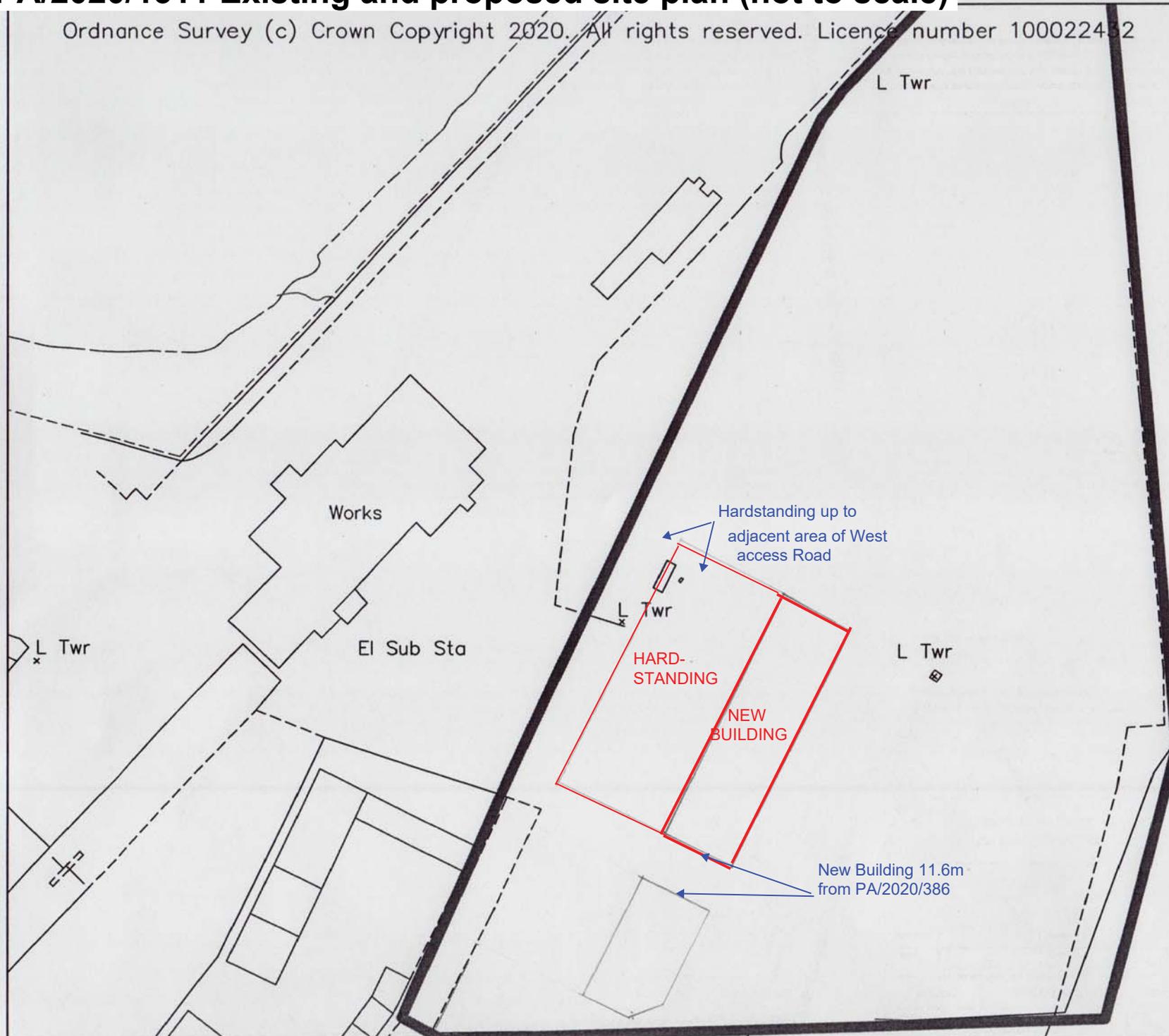


**North
Lincolnshire
Council**

PA/2020/1311

PA/2020/1311 Existing and proposed site plan (not to scale)

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Rev	Date	Drawn	Description	Ch'kd
-	-	-	-	-



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 Hemsworth. T: +44 [0] 1924 918153
 West Yorkshire E: info@esdsurveying.com
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Client
 Delta Salvage

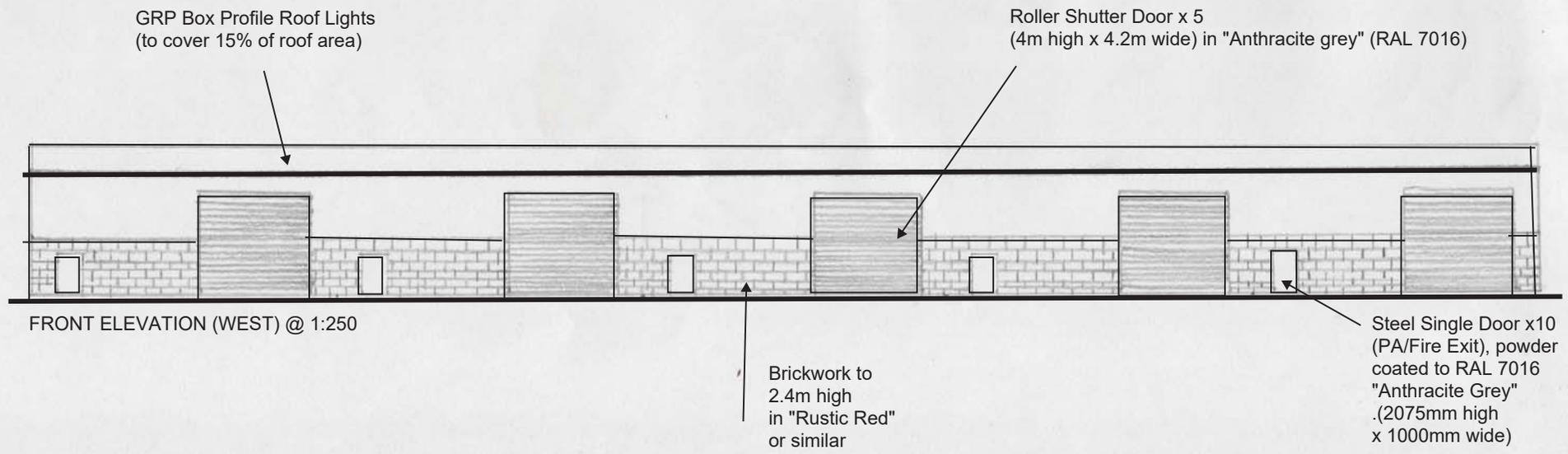
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 Doncaster DN9 1PN

Title
 OS Tile
 Location Plan

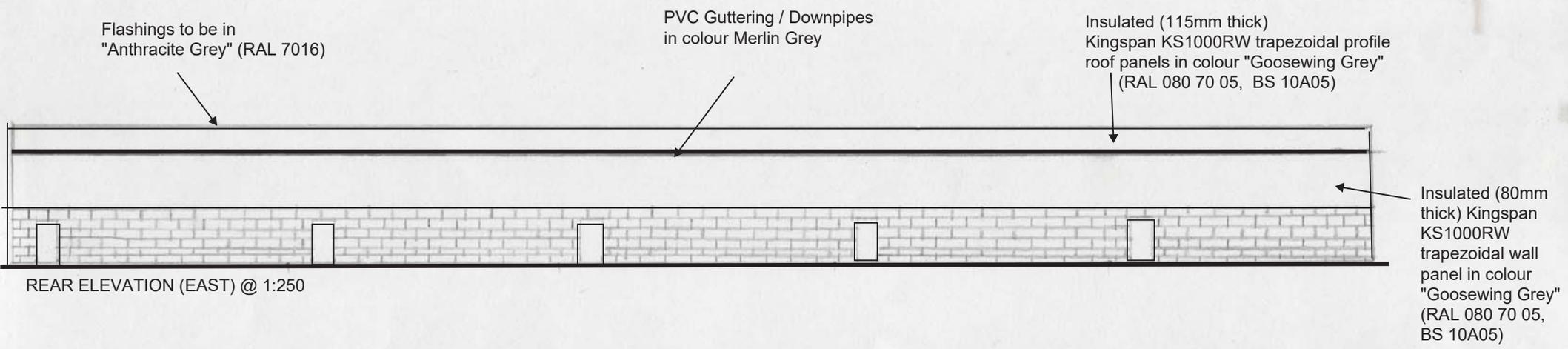
Surveyed		Drawn	
Check	-	Date	25/02/2020
Scale	[A4 Sheet] 1/1250	DWG Ref (Layout No)	ESD0800_LP
Job No	ESD0800		Status FINAL
		Rev	Ø

PA/2020/1311 Proposed east and west elevations (not to scale)

PA/2020/1311/03



FRONT ELEVATION (WEST) @ 1:250



REAR ELEVATION (EAST) @ 1:250

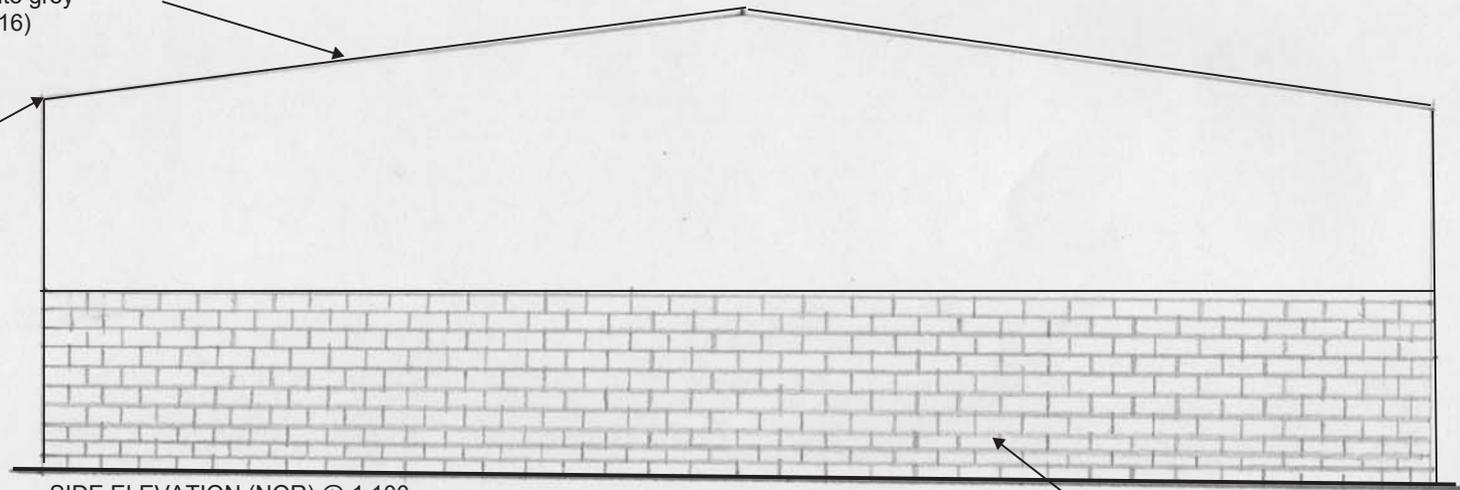
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		TITLE	PROPOSED EAST AND WEST ELEVATIONS		
		SCALE:	DATE	DRG No.	REV.
		1:250 @ A4		@ 1:250	-
REV	DETAIL	INT	DATE		

PA/2020/1311 Proposed north and south elevations (not to scale)

PA/2020/1311/01

Flashings to be in "anthracite grey" (RAL 7016)

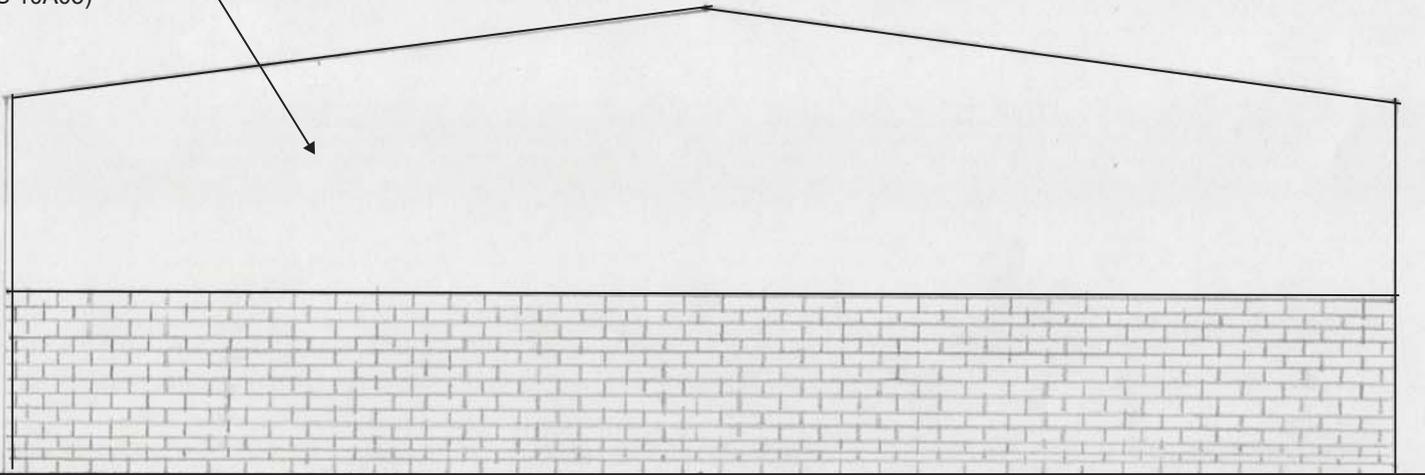
PVC Guttering / downpipes in colour "Merlin Grey"



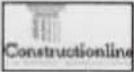
SIDE ELEVATION (NOR) @ 1:100

Brickwork to 2.4m high in "Rustic Red" or similar

Insulated (80mm) thick Kingspan KS1000RW trapezoidal wall panel in colour "Goosewing Grey" (RAL 080 70 05. BS 10A05)



SIDE ELEVATION (SOU) @ 1:100

		  	PROJECT		Proposed Storage Building: Delta Salvage, Belton, Doncaster, DN9 1PN			
			TITLE		PROPOSED NORTH & SOUTH ELEVATIONS			
			SCALE:		DATE	DRG No.	REV.	
			1:100 @ A4					
REV	DETAIL	INT	DATE					