

APPLICATION NO PA/2020/1459

APPLICANT Mr R Hewson

DEVELOPMENT Planning permission to erect a replacement dwelling, including demolition of existing dwelling

LOCATION Melwood Grange, Melwood Hill, Epworth, DN9 1AA

PARISH Epworth

WARD Axholme Central

CASE OFFICER Brian McParland

SUMMARY RECOMMENDATION Grant permission subject to conditions

REASONS FOR REFERENCE TO COMMITTEE Departure from the development plan

POLICIES

National Planning Policy Framework: Section 12 – Achieving well-designed places

North Lincolnshire Local Plan: DS1, DS7, DS14, DS16, RD2, RD10, T2, T19

North Lincolnshire Core Strategy: CS1, CS2, CS3, CS5, CS6, CS7, CS8, CS18, CS19

CONSULTATIONS

Highways: No objection, but recommend two compliance conditions in that vehicle parking must be provided before the dwelling is occupied and no loose material shall be placed on the driveway/parking near the highway (10 metres).

Drainage: No objection, but recommend two pre-commencement conditions (i.e. details of preventing surface water run-off).

Archaeology: No objection, but recommend four conditions (i.e. details of archaeological mitigation, notification of commencement of the archaeological site works, a copy of reporting, analysis and archiving of mitigation strategy, removal of permitted development rights).

Environmental Protection: No objection, but recommend a compliance condition relating to contaminated land.

TOWN COUNCIL

No objection received.

PUBLICITY

The application has been advertised by a site notice and in the press as a departure from the local plan. No comments have been received.

ASSESSMENT

The main issues to be considered are whether adequate justification can be demonstrated with regard to the principle of the development, impact on character and design, archaeology, neighbouring amenity, drainage, land quality and highways.

The site

The site is outside the development limit for Epworth, in the open countryside within the wider area of the Isle of Axholme. The site is occupied by a former farmhouse – Melwood Grange dated between 1824–1841, of two-storey height with a low-pitched hipped roof and asymmetrical frontage typical of this period. The footprint is rectangular on a north–south axis with a two-storey rear wing largely hidden from view and a single-storey side extension with a flat roof. The Victorian farm buildings are arranged around a U-shaped courtyard on the north side of the farmhouse, which have largely been replaced with modern farm buildings. The main farmhouse is now derelict. The site benefits from dense landscaping along the west boundary. The site is within Flood Zone 1 (low risk), is not within a conservation area, does not affect any listed buildings and does not relate to any tree preservation orders.

Proposal

Planning permission is sought to erect a detached, three-storey, seven-bedroom replacement dwelling, including the demolition of an existing dwelling. The proposed dwelling would be finished with a large hipped roof with two front-facing dormers serving a loft conversion (second floor). The dwelling would benefit from a linked single-storey garage, finished with a pitched roof and two front-facing dormers. Rooflights are proposed throughout the development. Proposed materials include red brick (walls) and grey tiles (roof).

Principle

The application site is outside the settlement boundary and the proposal would represent a departure from the North Lincolnshire development plan. In determining whether the principle of residential development outside the settlement boundary is acceptable in this instance, it is necessary to consider whether the proposed development is acceptable in planning policy terms.

Given the location of the application site, policy RD2 of the North Lincolnshire Local Plan is considered relevant. Development within the open countryside is strictly controlled and policy RD2 outlines the criteria for development within the open countryside.

Section vii) states, ‘Planning permission will only be granted for the replacement, alteration or extension of an existing dwelling.’

Given the proposal is for the replacement of an existing dwelling, it would fall under section vii) of policy RD2. The proposal would also satisfy provisions a–f outlined within policy RD2.

Likewise, the proposal would satisfy policy RD10 of the North Lincolnshire Local Plan (replacement dwellings within the open countryside).

The proposal would not preclude policies RD2 and RD10 of the local plan. Considering the context of the existing dwelling, the principle of development for a new dwelling, on balance, would be acceptable at this location, subject to the considerations below.

Impact on character and design

The National Planning Policy Framework (NPPF) attaches great importance to the design of the built environment. Paragraph 130 states that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area. Policy DS1 of the North Lincolnshire Local Plan and policy CS5 of the Core Strategy are concerned with quality of design and amenity. In respect of impact on character, policy DS1 states that the design and external appearance of the proposal should reflect or enhance the character, appearance and setting of the immediate area.

The site is within an Area of Special Historic Landscape Interest of the Isle of Axholme (local plan policy LC14); within this area the policy states that a high standard of design and siting in new development will be required reflecting the traditional character of buildings in the area and the character of the historic landscape, and using materials sympathetic to the locality. Policy LC7 (Landscape Protection) is also relevant which states, 'Where development is permitted within rural settlements or within the open countryside, special attention will be given to the protection of the scenic quality and distinctive local character of the landscape. Development which does not respect the character of the local landscape will not be permitted.'

The application site is situated at the north end of the ridge of high ground southeast of Epworth that extends towards Owston Ferry. The ridge is within the historic landscape character zone of the Early Enclosed Land (EEL) that buffers and forms the setting of the ancient open strip fields (AOSF) character zone on the lower ground to the immediate north of the site and to the west between Epworth and Haxey. The characteristics of the EEL zone are clearly legible across this area and can be appreciated from within the surrounding fields and landscape around the site. The site is in a prominent location on the brow of the hill above the town and is clearly seen from the roadside travelling through the landscape. It is also visible within the historic landscape, including views from several of the ancient tracks and meres within the AOSF land to the north and east of the site, and against the skyline when viewed from the flat low-lying landscape to the east.

The council's archaeologist has no objection to the proposal given it is a replacement dwelling rather than a new plot. They also acknowledge the considerable design of the proposed replacement; however, this would not warrant a recommendation for refusal. The recommending officer acknowledges the proposed replacement dwelling would be larger; however, it would be of the same size if the existing dwelling was extended by way of permitted development rights. It is understood the site benefits from dense landscaping along the west boundary which offers some mitigation and is considerably set back from the roadside by 56 metres. Once more, the dwelling would benefit from traditional materials (red brick/grey tiles) and features (dormers) which are conservative to the locality. Additionally, the proposed design concept of the replacement dwelling would have a rather rural impression which would be in keeping with the open countryside vernacular. It is also noted the replacement dwelling would be sited within a large plot and so would rest

comfortably. The recommending officer is satisfied the proposed replacement dwelling would not destroy, damage or adversely affect the character, appearance or setting of the historic landscape, or any of its features.

It is considered the proposed replacement dwelling, by way of its design, conservative detailing and use of appropriate materials, would be of a high standard of design and siting in that it would reflect the traditional character of the historic landscape and would reflect the character, appearance and setting of the local area. As such, the proposal would be in accordance with policies DS1, RD2, LC7, LC14 and CS5.

Archaeology

Policy HE9 (Archaeological Evaluation) states, 'Sites of known archaeological importance will be protected. When development affecting such sites is acceptable in principle, mitigation of damage must be ensured and the preservation of the remains in situ is a preferred solution. When in situ preservation is not justified, the developer will be required to make adequate provision for excavation and recording before and during development.'

The HER database has been checked and our records indicate that Melwood Grange is the possible location of a Premonstratensian Cell of Sulby Abbey established at Melwood Grange by the late 12th century. The Cell pre-dated the Carthusian Priory founded at (Low) Melwood in 1397–8. The Premonstratensian holdings (and possibly buildings) were transferred to the Carthusian Priory in 1399.

The heritage statement further considers the location of the monastic cell, concluding the evidence is slight but cannot be entirely discounted. Groundwork associated with any construction on this site may therefore encounter archaeological remains even where later development has caused disturbance.

Considering the above, if approved, conditions relating to archaeology have been recommended (i.e. to secure a programme of archaeological monitoring and recording work during construction and removing permitted development rights to protect the special historic landscape).

Impact on the amenity of neighbours

Policy DS1 of the North Lincolnshire Local Plan and policy CS5 of the Core Strategy are concerned with quality of design and amenity. In respect of impact on amenity, policy DS1 states that no unacceptable loss of amenity to neighbouring land uses should result in terms of noise, smell, fumes, dust or other nuisance, or through the effects of overlooking or overshadowing.

There are no neighbouring residential buildings. It is considered that the proposal, by way of its design and location, would not prejudice existing neighbouring amenity through the of loss of daylight, overshadowing, overbearing impact or loss of privacy. As such, the proposal would be in accordance with policies DS1 and CS5.

Drainage

Policy CS19 of the Core Strategy and DS16 of the local plan are concerned with flood risk, whilst policy DS14 of the local plan is concerned with foul sewage and surface water drainage.

The council's LLFA drainage team have been consulted and have no objection, subject to conditions relating to surface water run-off, which are included in the recommendation.

Land quality

Policy DS7 of the local plan is concerned with contaminated land. It states that permission will only be granted on contaminated sites where a detailed site survey has been submitted, and a suitable scheme of remedial measures has been agreed to overcome any existing contamination.

The council's Environmental Protection team has provided comment and outlined that, given the residential development is a sensitive end use, that the applicant has not submitted any information with regard to land quality, and that demolition of the existing property has the potential to give rise to contamination, a condition relating to land contamination should be attached to any planning approval.

Highways

Policy T2 of the North Lincolnshire Local Plan states that all development should be served by a satisfactory access. Policy T19 is concerned with parking provision as well as general highway safety. Both policies are considered relevant.

The council's highways team has been consulted and has no objection, subject to conditions relating to vehicle parking and no loose material on the highway.

Conclusion

Whilst the proposal is within the open countryside, it would not preclude the relevant policies within the local plan, given it is for the replacement of an existing dwelling. On balance, the proposal is a justified departure from the development plan.

Pre-commencement conditions

The pre-commencement conditions included within the recommendation have been agreed with the applicant.

RECOMMENDATION Grant permission subject to the following conditions:

1.
The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.
The development hereby permitted shall be carried out in accordance with the following approved plans: 009 – Existing Site Plans; Site Plans; Ground Floor Set Out; First Floor Set Out; Second Floor Set Out; Section Views; Simple Plans; Design, Access and Planning Statement; Heritage Statement; Preliminary Ecological Appraisal; Visuals.

Reason

For the avoidance of doubt and in the interest of proper planning.

3.

The dwelling shall not be occupied until the vehicular access to it and the vehicle parking and turning space(s) serving it have been completed and, once provided, the vehicle parking and turning space(s) shall be retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

4.

No loose material shall be placed on any driveway or parking area within 10 metres of the adopted highway unless measures are taken to the satisfaction of the local planning authority to prevent the material from spilling onto the highway. Once agreed and implemented these measures shall be retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

5.

If during development, any odorous, discoloured or otherwise visually contaminated material is found to be present at the site then no further development shall be carried out until a written method statement detailing how this contamination shall be dealt with has been submitted to and approved in writing by the local planning authority. The approved method statement shall be implemented in full prior to development commencing on the site.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

6.

No development shall take place until details showing an effective method of preventing surface water run-off from the highway onto the developed site have been submitted to and approved in writing by the local planning authority. These facilities shall be implemented prior to the access and parking facilities being brought into use and thereafter so retained.

Reason

To prevent the increased risk of flooding to themselves and others, to improve and protect water quality, and to ensure the implementation and future maintenance of the sustainable drainage structures in accordance with policy DS16 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraphs 155, 157, 163 and 165 of the National Planning Policy Framework.

7.

No development shall take place until details showing an effective method of preventing surface water run-off from hard paved areas within the site onto the highway have been

approved in writing by the local planning authority. These facilities shall be implemented prior to the access and parking facilities being brought into use and thereafter so retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan, policies CS18 and CS19 of the North Lincolnshire Core Strategy, and paragraph 163 of the National Planning Policy Framework.

8.

No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of an archaeological mitigation strategy, to be defined in a written scheme of investigation that has been submitted to and approved in writing by the local planning authority. The strategy shall accord with a brief provided by the North Lincolnshire Historic Environment Record and shall include details of the following:

- (i) measures to ensure the preservation by record of archaeological features of identified importance
- (ii) methodologies for the recording and recovery of archaeological remains, including artefacts and ecofacts
- (iii) post-fieldwork methodologies for assessment and analyses
- (iv) report content and arrangements for dissemination, and publication proposals
- (v) archive preparation and deposition with recognised repositories, including the ADS
- (vi) a timetable of works in relation to the proposed development, including sufficient notification and allowance of time to ensure that the site work is undertaken and completed in accordance with the strategy
- (vii) monitoring arrangements, including the notification in writing to the North Lincolnshire Historic Environment Record of the commencement of archaeological works and the opportunity to monitor such works
- (viii) a list of all staff involved in the implementation of the strategy, including sub-contractors and specialists, their responsibilities and qualifications.

Reason

To comply with paragraph 199 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policy HE9 of the North Lincolnshire Local Plan because the site potentially contains archaeologically significant remains that the development would otherwise destroy; the archaeological mitigation strategy is required in order to preserve archaeological evidence by means of a comprehensive record and creation of a permanent archive, to advance public understanding. The archaeological mitigation strategy must be prepared and approved for implementation prior to the commencement of any groundwork within the application site that would otherwise result in destruction without record.

9.

The applicant shall notify the planning authority in writing of the intention to commence the archaeological site works at least one week/seven days before commencement. Thereafter,

the archaeological mitigation strategy shall be carried out in accordance with the approved details and timings.

Reason

To comply with paragraph 199 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policy HE9 of the North Lincolnshire Local Plan because the site potentially contains archaeologically significant remains that the development would otherwise destroy; the archaeological mitigation strategy is required in order to preserve archaeological evidence by means of a comprehensive record and creation of a permanent archive, to advance public understanding. The archaeological mitigation strategy must be prepared and approved for implementation prior to the commencement of any groundwork within the application site that would otherwise result in destruction without record.

10.

A copy of any analysis, reporting, publication or archiving required as part of the mitigation strategy shall be deposited at the North Lincolnshire Historic Environment Record within six months of the date of completion of the development hereby approved by this permission or such other period as may be agreed in writing by the local planning authority.

Reason

To comply with paragraph 199 of the National Planning Policy Framework, policy CS6 of the Core Strategy and policy HE9 of the North Lincolnshire Local Plan because the site potentially contains archaeologically significant remains that the development would otherwise destroy; the archaeological mitigation strategy is required in order to preserve archaeological evidence by means of a comprehensive record and creation of a permanent archive, to advance public understanding. The archaeological mitigation strategy must be prepared and approved for implementation prior to the commencement of any groundwork within the application site that would otherwise result in destruction without record.

11.

Notwithstanding the provisions of Classes A, B, C, D, E and G of Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015, or any order re-enacting that order with or without modification, no extensions, buildings or enclosures shall be erected on the site or installed on the building other than those expressly authorised by this permission.

Reason

To protect the historic landscape in accordance with policies LC14 of the North Lincolnshire Local Plan and CS6 of the North Lincolnshire Core Strategy.

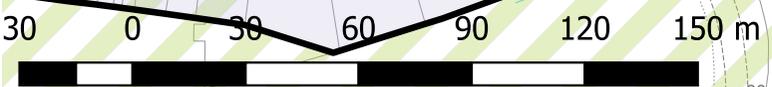
Informative 1

The development hereby granted planning permission requires works to be carried out within the limits of the adopted (public) highway. Therefore:

- before ANY construction works take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297000 to arrange for the relevant permissions/licenses to be issued;
- before ANY service (utility) connections take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297319 to arrange for the relevant permissions/licenses to be issued.

Informative 2

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



28.5m

Drain
MELWOOD HILL

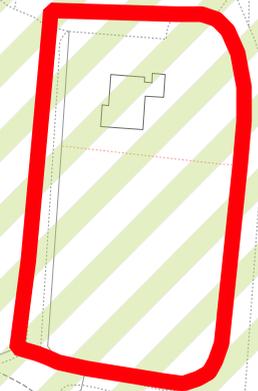
Melwood Grange

Silo

Und

30.6m

CR



29.0m

Drain

Track

LC14 Isle of Axholme Area of Special Historic Landscape

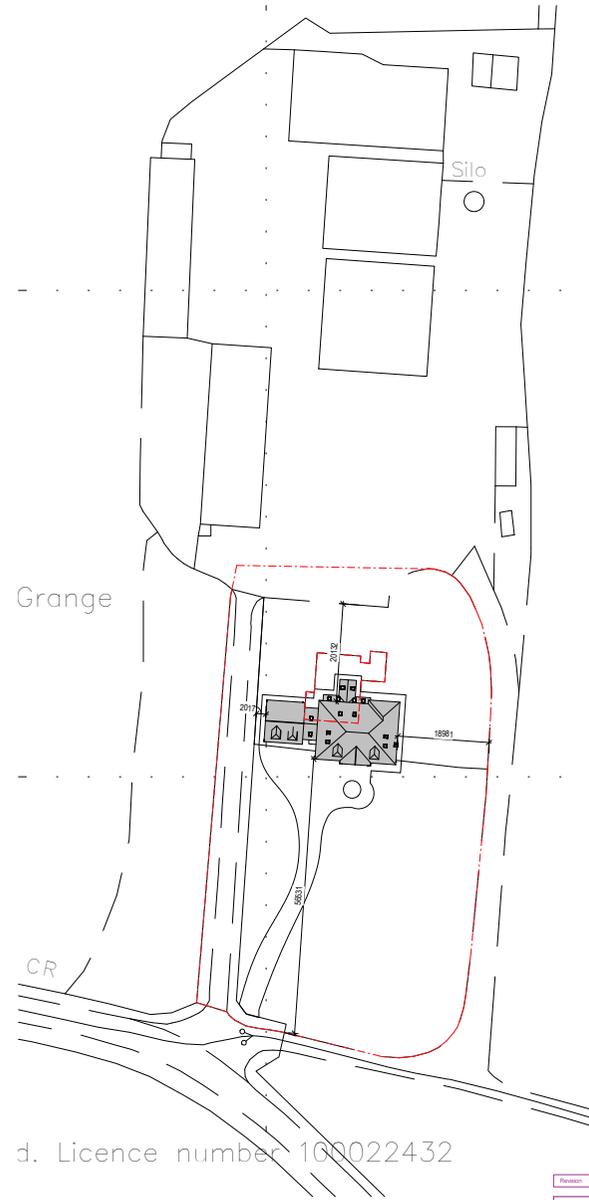
**North
Lincolnshire
Council**

PA/2020/1459

PA/2020/1459 Existing and proposed layout (not to scale)



Site Location Plan
1: 1250



Block Plan
1: 500

Revision	Description	Checked By	Date
Project R.Hewson_2020			
Drawing title Site Plans			
Project file Melwood Grange, Epworth		Scale of B1 As indicated	Revision
ARCHITECTURAL DRAWING SERVICES			